

**Architectural and Aesthetic Guidelines  
for Single-Family Residences in**

# **Grayson Lakes**

**Revised EXHIBIT "E"**

*Revised Exhibit "E" supersedes the  
Initial Architectural Guidelines, Supplemental Architectural Guidelines and  
all supplemental filed Guidelines*

<b>1 INTRODUCTION .....</b>	<b>4</b>
1.1 BACKGROUND .....	4
1.2 PURPOSE .....	4
1.3 GOVERNMENTAL REQUIREMENTS .....	4
1.4 INTERPRETATION.....	4
1.5 AMENDMENTS .....	4
<b>2 ARCHITECTURAL REVIEW PROCESS.....</b>	<b>5</b>
2.1 OBJECTIVE .....	5
2.2 REVIEW AUTHORITY .....	5
2.3 APPROVAL REQUIREMENT.....	5
2.4 SUBMISSIONS.....	5
2.5 TIMING .....	6
2.6 RESPONSIBILITY FOR COMPLIANCE .....	6
2.7 INSPECTION .....	6
<b>3 ARCHITECTURAL AND AESTHETIC STANDARDS .....</b>	<b>7</b>
3.1 BUILDING SETBACKS.....	7
3.2 REAR YARD DECKS .....	7
3.3 DRAINAGE.....	8
3.4 EQUIPMENT LOCATION AND SCREENING .....	8
3.5 EXTERIOR COLORS.....	9
3.6 EXTERIOR LIGHTING .....	10
3.7 FENCES.....	11
3.8 PATIOS AND PORCHES.....	17
3.9 POOLS AND SPAS .....	18
3.10RAIN GUTTER DRAINS .....	18
3.11ROOFS AND ROOFTOP EQUIPMENT .....	19
3.12BUILDING MAINTENANCE GUIDELINES .....	20
<b>4 ACCESSORY ITEMS.....</b>	<b>21</b>
4.1 ANIMAL PENS, RUNS, AND HOUSES .....	21
4.2 BASKETBALL GOALS.....	21
4.3 FLAGPOLES AND FLAGS.....	23
4.4 HOLIDAY DECORATIONS AND DECORATIVE BANNERS .....	24
4.5 MAILBOXES AND LAMPPOSTS.....	25
4.6 OUTDOOR FURNITURE .....	25
4.7 PLAY STRUCTURES .....	25
4.8 TRAMPOLINES.....	26
4.9 GAZEBOS.....	26
4.10STORAGE BUILDINGS .....	26
4.11DISPLAY OF CERTAIN RELIGIOUS ITEMS .....	27
4.12RAINWATER RECOVERY SYSTEMS.....	27
4.13SOLAR ENERGY DEVICES .....	28
4.14BURGLAR BARS .....	30
4.15PROHIBITED STRUCTURES.....	30
4.16SATELLITE DISHES AND ANTENNAE .....	30
4.17SIGNAGE.....	31
4.18TRASH CONTAINERS .....	32

4.19	STORM WINDOWS AND DOORS.....	32
4.20	WOODPILES .....	32
<b>5</b>	<b>LAKE GUIDELINES .....</b>	<b>33</b>
5.1	BOAT GUIDELINES.....	33
5.1.1	RULES FOR BOATING ON LAKE GRAYSON.....	33
5.1.2	BOAT USE AND STORAGE ON LAKE GRAYSON (for properties not abutting the lake).....	33
5.1.3	BOAT USE AND STORAGE ON LAKE GRAYSON (for properties abutting the lake) 34	
5.2	LAKE DOCKS.....	35
<b>6</b>	<b>LANDSCAPE GUIDELINES.....</b>	<b>38</b>
6.1	LANDSCAPE DESIGN .....	38
6.2	MINIMUM LANDSCAPE REQUIREMENTS .....	40
6.3	LANDSCAPE MAINTENANCE.....	45
<b>7</b>	<b>CONSTRUCTION RULES.....</b>	<b>46</b>
7.1	CONSTRUCTION SITE.....	46
7.2	TEMPORARY STRUCTURES .....	46
7.3	UTILITIES.....	46
7.4	HOURS OF CONSTRUCTION .....	47
7.5	CONTRACTOR ADVERTISING .....	47

# 1 INTRODUCTION

## 1.1 BACKGROUND

Grayson Lakes is a planned lakeside community located in Fort Bend County, Texas. The homes and home sites within Grayson Lakes are subject to the Declaration of Covenants, Conditions and Restrictions for Grayson Lakes (the "**Declaration**"), which provides for standards of architecture, maintenance, use and conduct in order to preserve and enhance the overall community. The Declaration establishes Grayson Lakes Community Association, Inc., a Texas nonprofit corporation whose members include all property owners in Grayson Lakes (the "**Association**"), as the entity primarily responsible for administering the Declaration and the standards of maintenance, architecture, conduct, and use established pursuant to the Declaration.

## 1.2 PURPOSE

Article IV of the Declaration establishes procedures for application and review of plans for new construction and modifications to existing homes and lots within Grayson Lakes. NNP-Grayson Lakes, LP ("**Declarant**"), as the developer of Grayson Lakes, has established these Architectural and Aesthetic Guidelines for Grayson Lakes ("**Architectural Guidelines**") to provide guidance to Owners and their contractors in planning modifications and improvements to structures and landscaping on single family residences in Grayson Lakes. These Architectural Guidelines are intended to facilitate the review process, but are not the sole basis for decisions on architectural matters. **Compliance with these Architectural Guidelines does not guarantee approval.**

## 1.3 GOVERNMENTAL REQUIREMENTS

To the extent that any local government ordinance, building code or regulation imposes a more restrictive standard than the standards set forth in the Declaration or these Architectural Guidelines, the local government standard shall control. To the extent that any local government standard is less restrictive, the Declaration and these Architectural Guidelines (in that order) shall control.

## 1.4 INTERPRETATION

In the event of a conflict between these Architectural Guidelines and the Declaration, the Declaration shall control. Capitalized terms used in these Architectural Guidelines and not otherwise defined in this document shall have the same meaning as set forth in the Declaration.

## 1.5 AMENDMENTS

The Architectural Review Committee ("**ARC**") appointed by the Association's Board of Directors may amend the Architectural Guidelines. All amendments shall become effective upon recording in the Office of the Clerk of the Court of Fort Bend County, Texas. Amendments shall not apply retroactively so as to require modification or removal of work already approved and completed or in progress. **It is the responsibility of owners to ensure that they have the most current edition of these Architectural Guidelines.**

## 2 ARCHITECTURAL REVIEW PROCESS

### 2.1 OBJECTIVE

The objective of the review process is to promote aesthetic harmony in the community by providing for compatibility of specific designs with surrounding buildings, the environment and the topography. The review process strives to maintain objectivity and sensitivity to the individual aspects of design.

### 2.2 REVIEW AUTHORITY

Architectural control and design review is handled by the Architectural Review Committee appointed by the Association's Board. The term "**Reviewer**," as used in these Architectural Guidelines, refers to the entity responsible for review of a particular matter.

### 2.3 APPROVAL REQUIREMENT

Unless otherwise specifically stated in Article IV of the Declaration or these Architectural Guidelines, all plans and materials for new construction, landscaping or exterior modifications to homes or landscaping must have prior approval. Where these Architectural Guidelines specifically allow an Owner to proceed without prior approval, such allowance shall only be effective so long as the Owner complies with the requirements of the applicable guideline.

Plans submitted to the Reviewer must comply with all applicable building codes, zoning regulations and the requirements of all agencies and municipalities having jurisdiction over the project. **It is the responsibility of the applicant to obtain all necessary permits and inspections. Regulatory approvals do not substitute for review and approval hereunder, and vice versa.**

### 2.4 SUBMISSIONS

Requests for approval of proposed construction, landscaping, or exterior modifications must be made by submitting an application in the form available from the Reviewer.

Applications for approval of work other than color changes must be accompanied by:

- (1) A survey or site plan, drawn to scale, showing
  - Property lines, setbacks and easements
  - A footprint of house and driveway, sidewalks, deck, patio, retaining walls, etc.; and
  - Existing trees and landscaping; and
  - All proposed improvements dimensioned to properly locate them from the house or property line.
- (2) a description of the materials and finishes proposed to be used; and
- (3) construction detail; and
- (4) drawings showing any changes in exterior building elevations; and
- (5) if applicable, a landscape plan showing placement, number, species and size of proposed landscape additions or modifications.

Color samples and photographs assist the Reviewer in rendering its decision and expedite the review process. The Reviewer may require the submission of such additional information as may be reasonably necessary to consider any application.

Applicants are encouraged to attend the ARC meeting at which their submission is scheduled for consideration. Thus, any clarifications required by the ARC may be addressed as quickly as possible to avoid the potential for rejection of the submission.

## **2.5 TIMING**

Submissions must be received 5 days prior to the date of the regularly scheduled meetings to be placed on that month's agenda. Submissions that are on the meeting agenda will be reviewed the night of the meeting. All other submissions will be reviewed within 30 days of confirmed receipt.

The notification of applicants shall be conducted as described in Article IV of the Declaration.

## **2.6 RESPONSIBILITY FOR COMPLIANCE**

An applicant is responsible for ensuring that all of the applicant's representatives, including the applicant's architect, engineer, contractors, subcontractors, and their agents and employees, are aware of these Architectural Guidelines and all requirements imposed by the Reviewer as a condition of approval.

## **2.7 INSPECTION**

Upon completion of all approved work, the Owner is responsible for notifying the Reviewer and scheduling an inspection to verify conformance with the approved submission.

# Architectural Guidelines

## 3 ARCHITECTURAL AND AESTHETIC STANDARDS

### 3.1 BUILDING SETBACKS

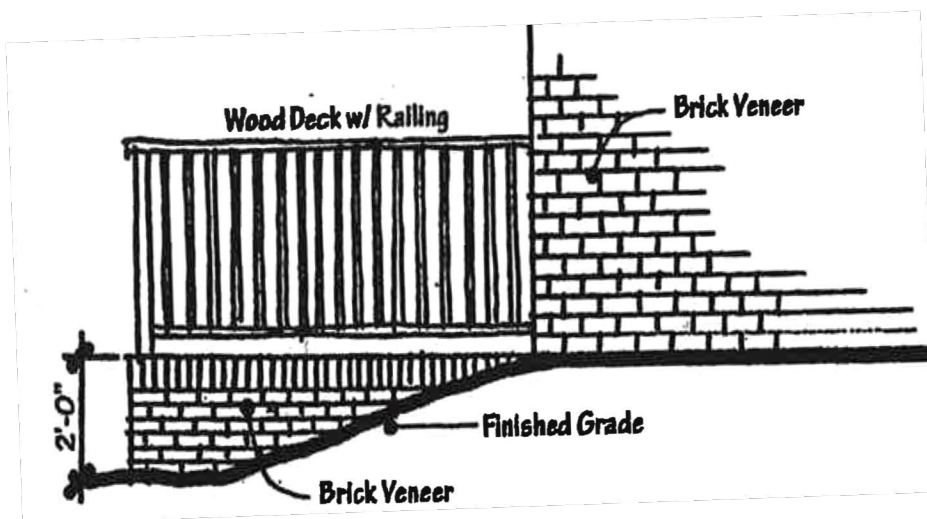
LOT SIZE		SETBACKS			
		For typical product width			
		Front	Back	Side	Corner
70'-80'	Res.	25'	20'	5'	15'
	Det.	NA	5'	5'	20'
100'	Res.	50'	30'	7.5'	20'
	Det.	NA	10'	7.5'	20'
125'	Res.	50'	40'	10'	20'
	Det.	NA	15'	10'	20'

### 3.2 REAR YARD DECKS

When considering the relationship of a deck to a neighboring lot, ground level decks shall be constructed no closer than two feet (2') from lot lines. Decks shall not impede or redirect drainage onto adjacent lots. To build in an easement, the deck must be of temporary construction and written permission must be obtained from the entities with rights to the easement. When considering the relationship of a deck with a common area, decks shall be constructed no closer than five feet (5') to the common area.

When decks are constructed of wood and have an exposed area below the deck that is greater than two feet (2'), that area shall be screened from view with lattice or other decorative screening.

Each lattice panel shall have a minimum thickness of 3/8-inch and be framed. For a wood deck to appear compatible with the home, the sub structure shall be skirted with materials like those used on the house.



# Architectural Guidelines

---

If a deck is a second story deck and the wall below the deck has windows or is 100% finished, then screening is not required. The deck support structures shall be designed as aesthetically pleasing as possible. Second floor decks will comply with associated building lines as with the main structure of the home.

Decks may be waterproofed, sealed, stained a natural wood color, or painted the approved trim color of the house without the necessity of submitting an application or obtaining prior Reviewer approval. If the choice of color of the stain is not natural to wood, Reviewer approval must be obtained prior to applying such stain.

Man-made screens and shade devices, if any, must appear as an integral part of the building elevation and must be made of materials that complement the home and Neighborhood. Conversion of a deck or patio into a screened porch requires Reviewer approval.

## **3.3 DRAINAGE**

When any additions, alterations, or renovations are performed to an existing detached home, the lot drainage shall not be altered.

No one other than the Association shall alter the drainage on any lot in a manner that increases the drainage of storm water onto any adjacent property without consent of the owner(s) of the affected property and the Reviewer.

All new or altered roofs shall drain to the ground solely within the deeded lot area. A roof shall not drain directly onto a neighboring property.

## **3.4 EQUIPMENT LOCATION AND SCREENING**

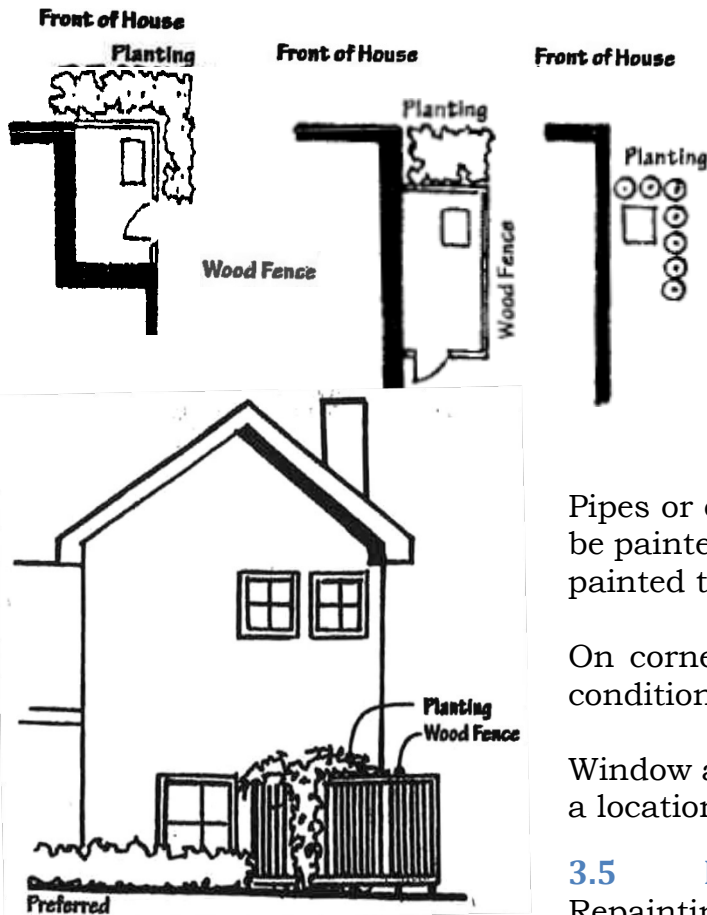
Where practical, all exterior meters, air conditioning units, pool or spa filtration, and ground-mounted mechanical equipment, etc. shall be located in a side or rear yard and must be screened from street view and neighboring property by landscaping or by material and color compatible with the design of the residence. Screening other than landscaping, and backyard or side lot fencing, shall not be of a height greater than four feet (4') above the natural grade of the lot.

Vertical landscaping shall be placed in front of screens. Hedges may be used for screens if plants are mature enough and spaced close enough to provide adequate screening at the time of planting. Staggered spacing of shrubs for hedges makes a good screen.



# Architectural Guidelines

---



Care shall be taken in location of condensers to suppress noise infiltration to nearby bedrooms and other "quiet" zones. Sound insulating material may be required for added equipment such as pool pumps and heaters.

In absence of complete yard fencing, air conditioner, pool pumps, etc. shall be screened from view. Where possible, design should include niches or offsets in which to tuck mechanical equipment.

Pipes or equipment attached to the side of the home shall be painted the same color as the walls. Roof pipes shall be painted the same color as the roof.

On corner lots, every effort should be made to place air conditioners, pool pumps, etc. in the rear yard.

Window air-conditioning units or fans shall be installed in a location that is not visible from the street.

## 3.5 EXTERIOR COLORS

Repainting or staining to match original colors need not be submitted for prior approval. Color chips and siding samples are to be submitted to the Reviewer for approval prior to changing colors.

Primary colors for siding, stucco and trim must be confined to earth tones, which are compatible with the natural environment. Stucco and synthetic stucco must be painted or integrally colored. Colors for windows, doors, louvers, gutters, and downspouts must be compatible with primary and trim colors and not detract from the architectural expression of the home.

Exterior colors for single-family houses shall blend with and relate to the colors of other houses in the immediate areas. Color changes apply not only to the house siding, but also to doors, shutters, trim, roofing and other appurtenant structures. Colors that the Reviewer determines to be garish, or offensively or distressingly bright, or tastelessly showy, will not be approved.

---

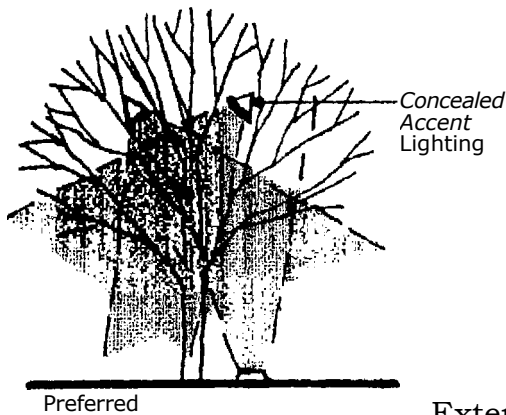
# Architectural Guidelines

---

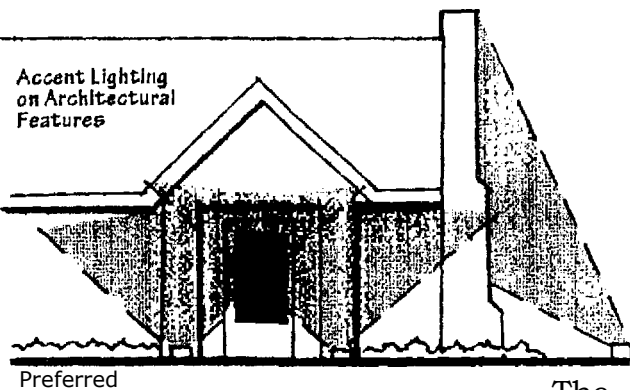
## 3.6 EXTERIOR LIGHTING

Exterior lighting is defined as lighting placed on the outside of the residence or property for the purpose of illuminating the yard or structure.

No exterior lighting, other than indirect lighting and motion detector lights, shall be placed, allowed or maintained on any lot without prior written approval and authorization of the Association.

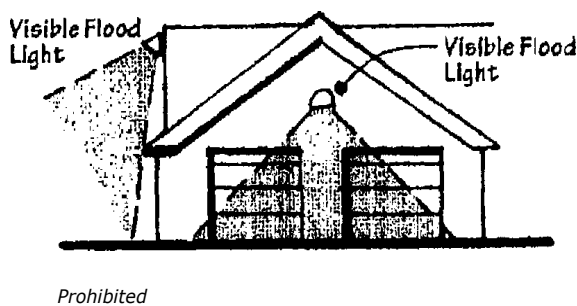


Exterior lighting shall be installed in a manner that will not cause unnecessary light spill distraction, nuisance or be unsightly. Outdoor spotlights and flood lighting must be shielded and focused downward.



Any and all exterior lighting installed upon any lot shall either be indirect, or shall be of such controlled focus and intensity that it will not unreasonably disturb any of the owners of neighboring lots. Exterior lights shall be placed and focused such that they do not shine into or across neighboring lots. Visible or exposed floodlights are prohibited.

Any exterior light that is determined to be a nuisance to neighbors will be considered a violation. The owner will be required to adjust or remove the equipment upon written notice from the Association.



Exterior lighting must be on a motion sensor or timer.

Exterior lights on timers should be set to shut off no later than 12:00 (midnight).

Exterior residential lighting can convey a warm, inviting atmosphere and aid in providing nighttime security without annoying others. Selection and placement of fixtures, and selection of light source types, should be done with care.

Exterior illumination of architectural features such as columns, entries, chimneys and landscape features are encouraged.

Lights should be directed to illuminate house number graphics. Ground lighting or decorative light fixtures are acceptable. Decorative

# Architectural Guidelines

---

fixtures shall be of high-quality materials and workmanship and shall be in scale and style with the residence.

High-pressure sodium lights, except for subdivision streetlights, are prohibited.

Mercury vapor security lights, when the fixture is visible from public view or from other lots, are prohibited. Mercury vapor lights, when used for special landscape lighting affect, (hung in trees as up and down lights) are permissible with Reviewer approval.

Colored lenses on low voltage lights, colored light bulbs, fluorescent and neon lighting are not permissible.

Incandescent, low voltage incandescent, metal halide, quartz and natural gas lights are acceptable.

Lighting may not be installed on the privacy fence or patio/pool fence.

## 3.7 FENCES

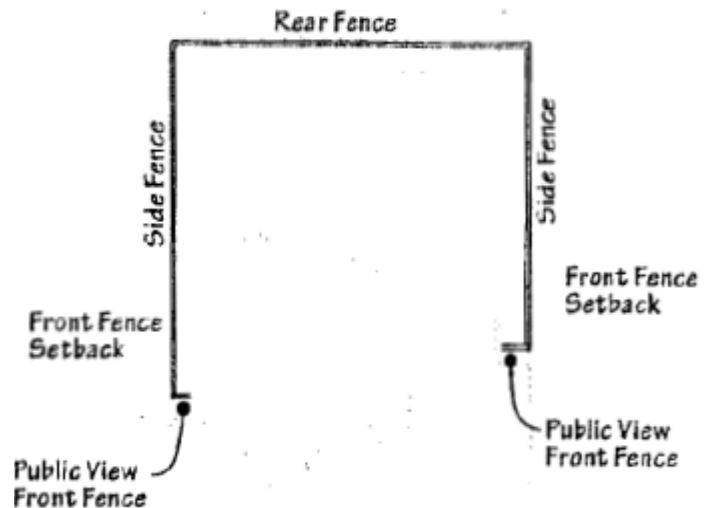
### Fencing Setback

A minimum fence setback of ten feet and a maximum of fifteen feet (10'- 15') from the front face of the house is required. A minimum side fence setback of twelve feet (12') from public walks is required on corner lots for a planting buffer.

Corner side lot fences visible to the public and more than thirty feet (30') long require a planting buffer

Where there is a side setback of 10' on a corner lot, a side fence is not allowed. In such cases, the fence must tie into the rear of the house with a minimum one-foot (1') offset.

Fences are not permitted on easements and setbacks.



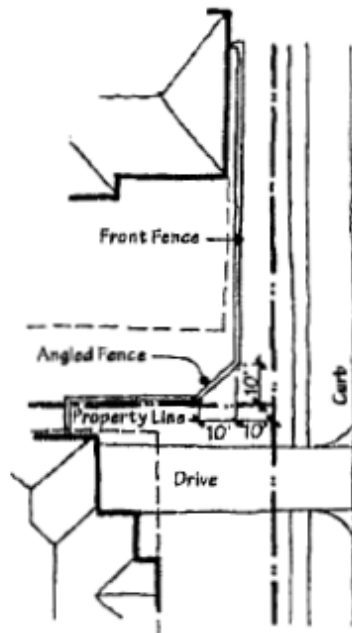
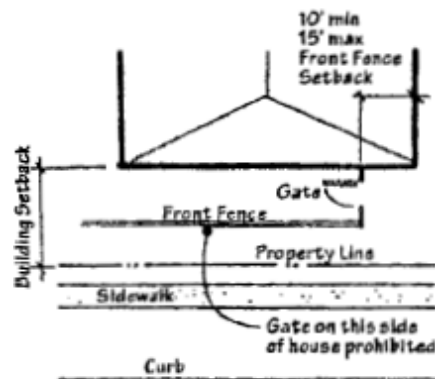
# Architectural Guidelines

---

## Fencing on Corner Lots

Fences visible to public view shall be installed with the finished side out. The fence is to be installed using quality materials and standard construction techniques.

Fences on corner lots that obstruct view of the front of an adjacent house shall be angled back to minimize the obstruction.



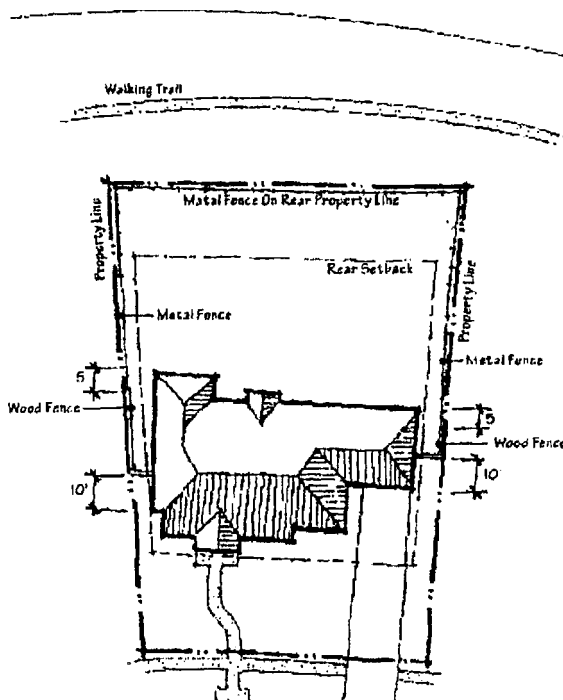
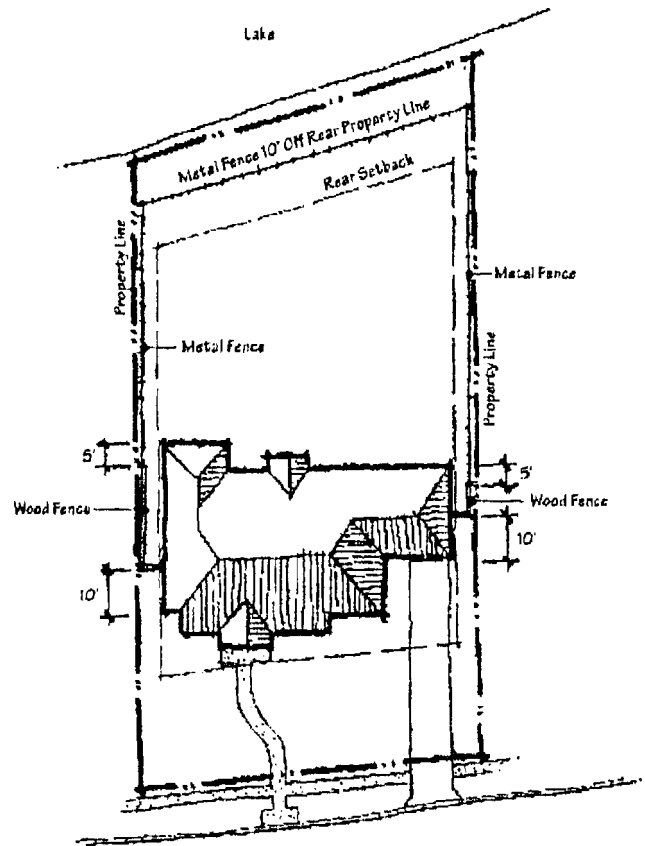
# Architectural Guidelines

## Fencing on Lakefront Lots

Metal fences are required on the side property lines of all lots backing on the lake and lakeside greenbelt. The fence shall be six feet (6') in height and be set two inches (2") from the natural ground (see Metal Fence Detail).

Lots adjacent to the lakeside greenbelt are required to have a four feet (4') in height metal fence along the rear property line. A three foot (3') wide pedestrian gate may be placed in fences, backing on the lake greenbelt, for the sole purpose of yard and fence maintenance. Double gates are prohibited. Scrollwork or ornate latches are not acceptable.

Lots backing the lake are not required to have fencing parallel to the lake. If fencing is preferred, metal fencing will be used and placed ten feet (10') above the lake edge slope paving. This fence will be of the same style metal fence described in these guidelines, but only four feet (4') in height.



Good - Neighbor or Public View wood fences (see Wood Fence Requirements) on lots adjacent to the lake or lakeside greenbelt should extend to five feet (5') short of the rear corner of the home.

## Fencing Materials

Fences shall be constructed of wood, metal or masonry. Note: some areas require a specific type of fence. Diagonal and horizontal fencing is prohibited. Chain link fencing is prohibited. All fences visible to the public shall have the finished side out. All wood fencing visible to the public shall conform to the Public View Fence requirements detailed in these Guidelines. Fencing is not permitted in front yards.

Gates, if installed, shall be compatible and complimentary to the fence design.

### 3.7 FENCES

#### Wood Fences

##### Materials:

- Posts and framing are to be of treated southern yellow pine; (4X4 and 2X4 respectively)
- Rot board, if used, is to be of treated southern yellow pine (2X6). Use of a rot board is optional but encouraged as a means of avoiding damage from trimmers and exposure of pickets to lying water.
- Cap boards (2X6) and associated trim (1X2) are to be of cedar or yellow pine.
- Pickets without caps (i.e. "exposed") are to be dog-ear pattern at the top and pickets in all cases are to be of #2 or better cedar (1X6).
- Only stainless steel, aluminum or polymer-coated fasteners must be used. Galvanized steel fasteners are to be avoided. Pickets may be attached using either ring shank nails or polymer-coated screws to avoid unsightly discoloration marks (e.g. streaks) on the pickets.
- No used materials are permitted in new construction with the exception of posts if such are considered to be in good condition. Preference is to replace posts also.

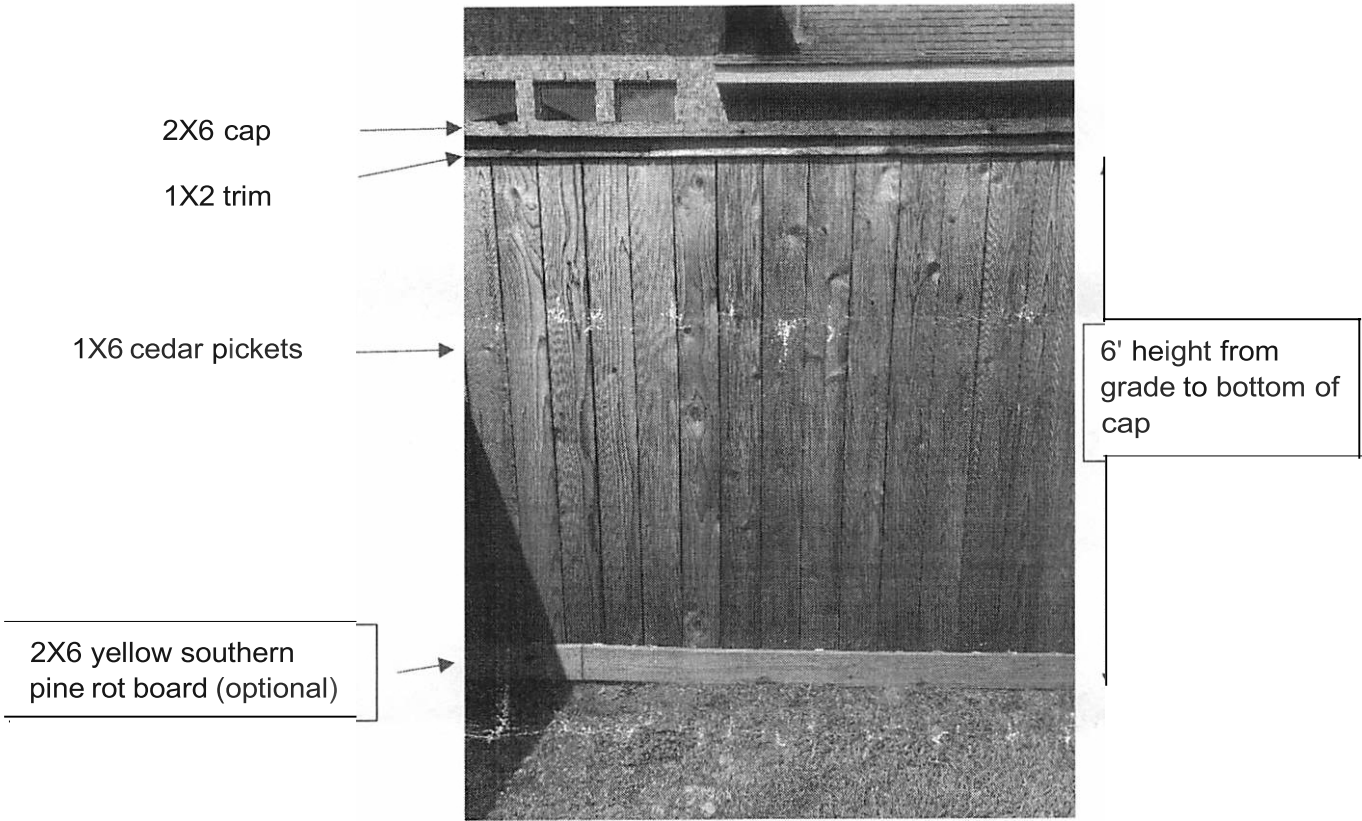
##### Overall Dimensions:

- Overall height from grade level, excluding cap, is to be 6' whether or not a rot board is used. If a rot board is used, it will be necessary to cut pickets to conform to the overall height requirement.
- Proposed gate sizes should be indicated clearly on submissions to the ARC which has the discretion to approve or not, based on individual circumstances. Appearance and compatibility will be considered in the decision process.

##### General Layout and Appearance:

- A minimum of three (3) rail construction must be used.
  - All fences visible to the public must have finished side out.
  - Wood fences on lot lines common with neighbors must be installed using alternating 8' sections following the "Good Neighbor Fence" method. Finishing those sections with exposed rails is acceptable but is not required.
  - Caps and trim are required on all sections visible to the public. At the discretion of the homeowners, they may also be used on other fence sections.
  - Staining of fences is forbidden but homeowners are encouraged to consider use of clear sealant to extend the life of the wood. (Application of clear sealant results in an appearance similar to wet wood and is quite distinct from the appearance resulting from staining.)
  - Fences must be kept in good state of repair

Please see illustrations below for guidance on the foregoing.



2X6 cap

1X2 trim

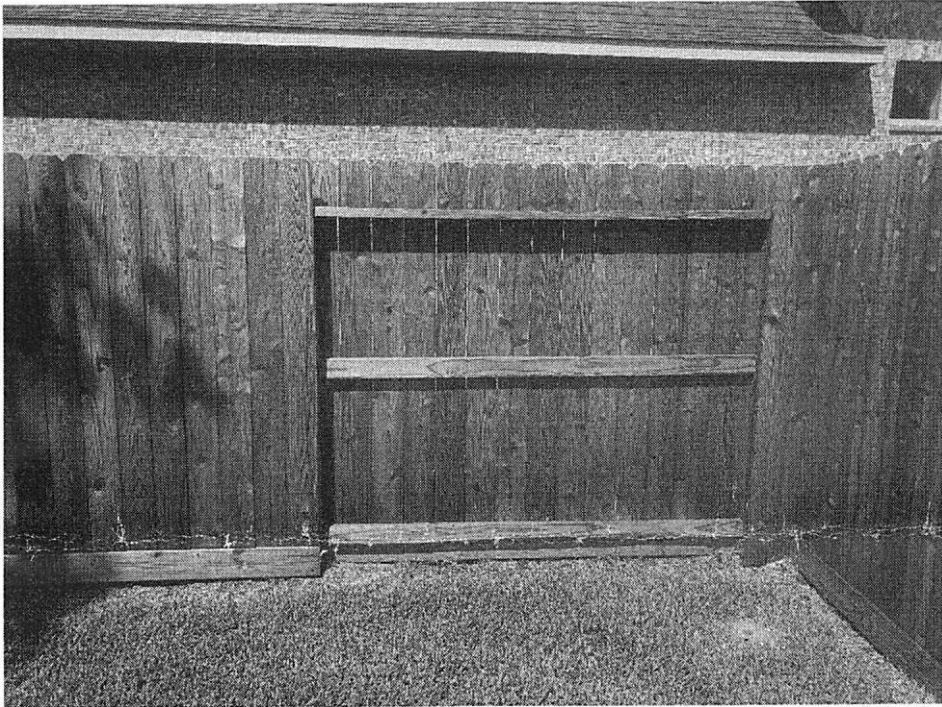
1X6 cedar pickets

6' height from  
grade to bottom of  
cap

2X6 yellow southern  
pine rot board (optional)

Public View (with clear sealant)





Good Neighbor Fence (with clear sealant)

**Repair vs Replacement:** Replacement of only a few pickets will be considered as a repair and there is no need to submit for approval so long as materials and dimensions are compliant. If any section 8' or longer or a full gate is being replaced, approval will be required. If the homeowner is in doubt as to requirements they should enquire of the ARC as to whether a submission is required.



## Metal Fences

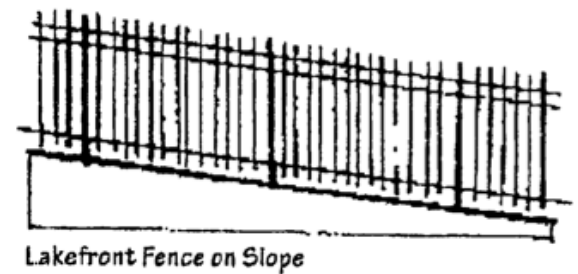
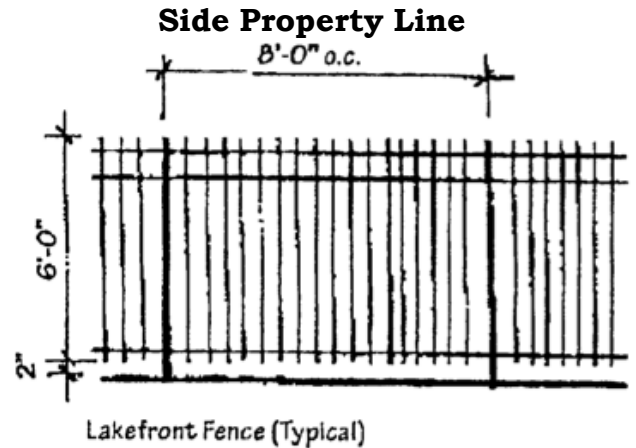
Metal fences are to be installed as the design standards illustrate. Panels bolted, instead of welded to posts, are recommended for ease of maintenance. Metal posts shall be set in concrete footings. All metal shall be primed and painted semi-gloss black.

## Fencing on Slopes

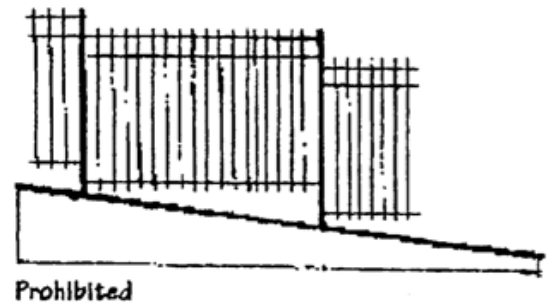
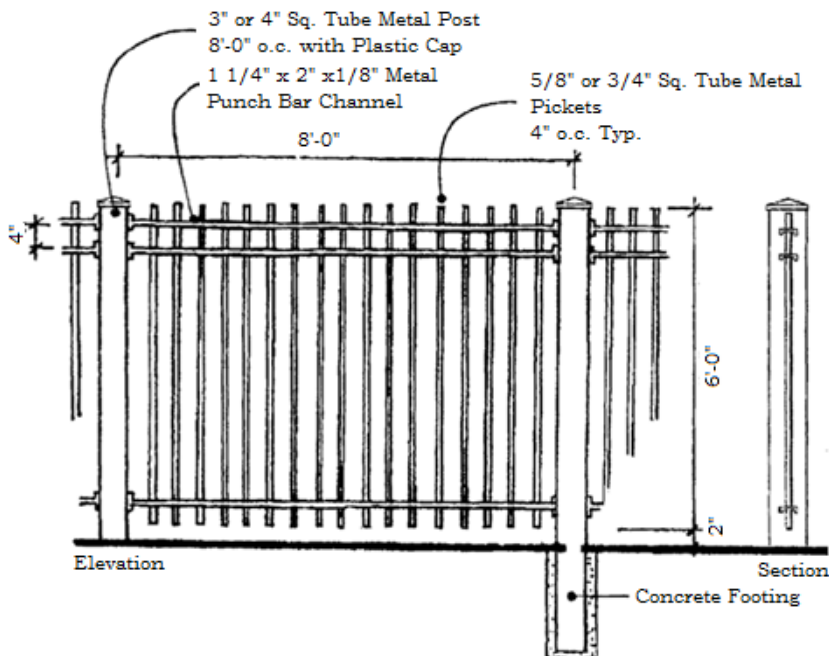
The preferred approach to transition grade changes with fencing is to install the fence stringers parallel to the slope and pickets perpendicularly.

## Perimeter Fencing

The Association may construct fencing that it deems appropriate to enhance or protect areas within the development and is not bound to any type of fence, or method or installation.



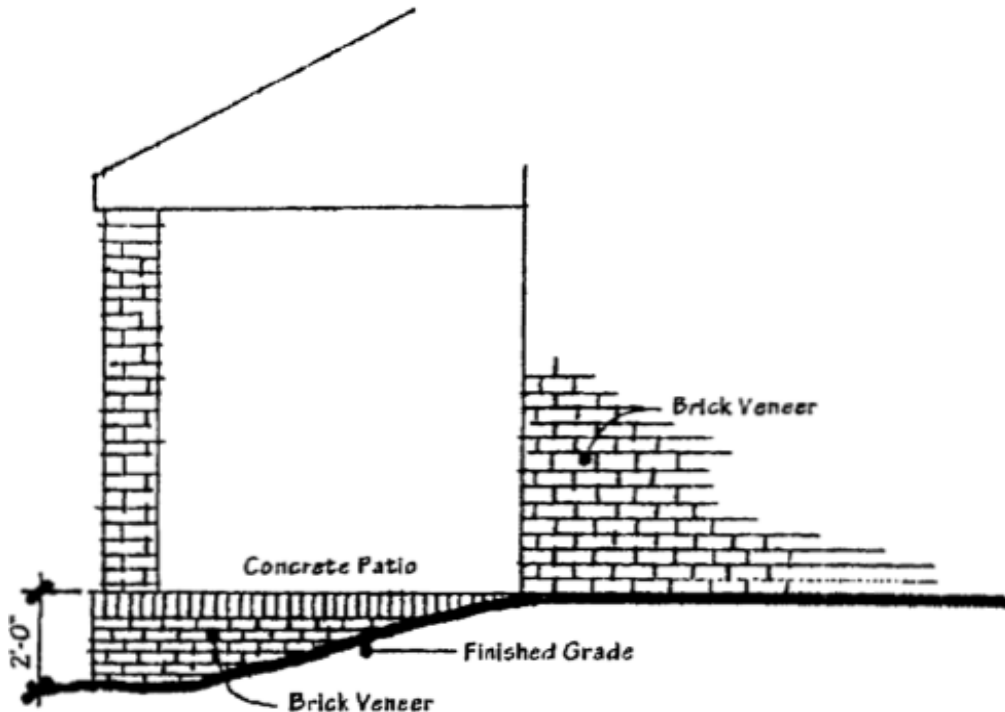
## Metal Fence Requirements



### 3.8 PATIOS AND PORCHES

#### Concrete Patios

A concrete patio that has an exposed foundation that is greater than two feet (2') in height shall be covered with masonry that matches the masonry on the house.



#### Covered Patios/Porches

Covered front and rear patios/porches are encouraged for design diversity. They create protection from the elements and a sense of individuality.

Covered patios and porches should be designed in harmony with the architecture of the home.

Roof material on the roof of porches and patios must be the same as that on the roof of the house.

Covered patios and porches must not encroach on any easement or building line.

Covered decks must be landscaped if not screened from view by a fenced yard. No kitsch shall be used as a weathervane or flag on top of the roof. High intensity spot lights/vapor lights shall not be attached to the structure. Decks must be maintained in good condition. Weathervanes must be in keeping with the architecture and scale of the covered deck.

Man-made screens and shade devices, if any, must appear as an integral part of the building elevation and must be made of materials that complement the home

and Neighborhood. Conversion of a deck or patio into a screened porch requires prior approval.

### **3.9 POOLS AND SPAS**

Pools constructed above ground are prohibited. Smaller, prefabricated, installed above ground, spas or hot tubs are acceptable. Above ground spas or hot tubs, visible from public view or from other lots, shall be skirted, decked, screened or landscaped to hide all plumbing, heaters, pumps, filters, etc.

Privacy screens for pools or spas on lake or greenbelt lots shall be set back a minimum of twenty feet (20') from rear property lines and shall not exceed thirty feet (30') in width parallel to rear property lines. Maximum privacy screen height shall not exceed six feet (6') above existing grade. Screening material shall be masonry compatible with the residence, wood fence with finished side out, or other screening material approved by Reviewer.

Swimming pool appurtenances, such as rock waterfalls and slides, shall be in keeping with the scale of the home as determined by the Reviewer. Skimmer nets, long handle brushes, pool chemicals, filters, pumps, heaters, plumbing, etc. must not be visible from public view.

Pool walls shall not encroach on utility easements. If pool plumbing is required in utility easements, contact local utility companies before digging. Wood or concrete pool decks may be placed on utility easements with permission from the utility company, but are subject to removal by utility companies.

Pool and spa drains must connect to the street drainage. Pools cannot be drained onto open spaces, into lakes, or onto any other property.

All construction activities shall take place between the street and the rear lot line. Any access to a lot other than from the street on which it fronts is prohibited unless otherwise approved by the Reviewer.

### **3.10 RAIN GUTTER DRAINS**

Although gutters are not required, roof design or the use of diverters should keep dripping water off of patios, balconies, stairs, doorways, etc.

Positive drainage away from the house should be provided for rainfall, irrigation, air conditioner condensate and all other types of water runoff.

Down spouts on front of house are to be located to provide a clean, unobtrusive appearance. Down spouts drained into the yard should utilize methods such as "bubblers" placed no closer than ten feet (10') to the house foundation or splash blocks, directing water away from the foundation and any adjacent property.

Roof drainage that will ultimately create erosion or run across pedestrian walks and paths is not acceptable. Gutters and downspouts shall be integrated with architectural design in color, shape and location. Gutters and downspouts shall be painted the same color as trim.

### **3.11 ROOFS AND ROOFTOP EQUIPMENT**

*August 2021 – Since the Architectural and Aesthetic Guidelines for Single-Family Residences in Grayson Lakes EXHIBIT "E" were originally published, roofing industry standards, such as material weight, warranty periods and hazards designs, have materially changed, rendered the original document obsolete. In response to industry changes, the revised version of the document presented below is intended to reflect contemporary standards as of the date of this revision. Adoption of these revisions replaces previous versions of this section.*

All buildings shall be roofed with composition shingles unless otherwise approved in writing by the Reviewer. All roofing materials must be approved by the Reviewer prior to installation. Wood shingles are specifically prohibited for safety reasons. Tile roofs, or other roofing such as slate, concrete, or metal, will be limited use and must compliment the architecture and scale of the home. Roofing materials, other than fiberglass or asphalt shingles, must be approved by the Reviewer.

#### **"Standard" Shingle Materials**

All residential building and garages (whether attached or detached) must be roofed with laminate asphalt / fiberglass shingles. Shingles are to be of ultra-dimensional wood shake look. In all cases roofing materials (as well as color) must be approved by the Reviewer prior to installation. Published warranties must be in the range of 30 years to Lifetime and must provide Stain-guard / Algae resistance. Enhanced Hip and Ridge products are acceptable so long as they are of asphalt / fiberglass composition and match the color of the field of the roof.

#### **"Alternative" Shingles**

The Reviewer may consider approval of "Alternative Shingles" for the purposes of enhanced wind and hail resistance and/or improved heating and cooling efficiency provided that the following criteria are met:

#### **The "Alternative Shingles"**

1. Closely resemble shingles approved for use in the community.
2. Are of equal or superior quality and durability to shingles approved for use in the community.
3. Match the aesthetics of properties adjacent to or neighboring the property in question.

**\*\*Note that roofing manufactures listed below all offer Class 4 Impact Hail Resistant Shingles and "Cool" enhanced shingles that provide additional energy efficiencies as compared to traditional composition shingles.**

## **Installation**

Prior to re-roofing, all old materials must be completely removed from the roof down to the clean decking. Any damaged or deteriorated decking must be replaced. Shingles are to be overlapped at valleys so that no valley flashing is exposed. Ridge vents are encouraged (but not required) as they improve ventilation resulting in reduced attic temperatures and energy costs. Vent stacks and other necessary roof penetrations shall be located away from public view. When possible, roof penetrations must be located on the back side of the roof and shall not exceed the minimum code height. Skylights may not exceed three (3) feet by four (4) feet in size and shall be mounted on the side or back side of the roof so as not to be visible from the street. Skylights should be placed in locations such that they do not detract from the building elevations.

## **Examples**

The following manufacturers and products provide examples of conformance to the minimum approved standard:

**GAF Timberline Ultra HD**

**Owens Corning Oakridge**

**CertainTeed Landmark**

**Tamko Heritage**

The foregoing manufacturers all offer upgraded or premium products that meet the ultra-dimensional wood shake look required. Such products offer higher "weights" and longer warranties and while premium shingles are encouraged, approval is required by the Reviewer. It is incumbent on the homeowner to demonstrate that any alternatives being proposed are indeed equivalent to the examples shown.

## **Colors (Shingles)**

Approved shingle colors are gray tones generally referred to as Weatherwood or Driftwood. Dark brown, charcoal and black may be considered by the Reviewer under some circumstances but approval will be at the discretion of the Reviewer.

## **Colors (Gutters and Downspouts)**

Gutters and downspouts must be painted to match the fascia and siding of the structure.

## **Colors (Roof Protrusions)**

Roof protrusions such as vents and roof jacks must be painted to match the shingles.

## **General Appearance**

The roof, as an expressive design element, should be kept as visually unobstructed as possible. Mechanical and air conditioning equipment may not be mounted on the roof. Visible radio / television antennae, satellite dishes and radio towers attached to the roof are discouraged.

## **Approval**

**In all cases roofing material and color must be approved by the Reviewer prior to installation.** In the event that circumstances make replacement a **true** emergency, the application may be addressed immediately and urgently but under no circumstances should replacement be undertaken without submission of an application for replacement.

## Prohibited

Wood shingles are specifically prohibited for safety reasons. Three-tab shingles are prohibited except for use as a starter and / or cap row. Roof overlays are not permitted.

## Checklist\*\* "Standard" Shingles

Shingle Composition	Names of manufacturer and product normally suffices
Shingle color	Manufacturer name and illustration if appropriate
Stain guard	Manufacturer statement
Warranty	Manufacturer statement of 30 years to lifetime
Gutter Color	To match fascia and siding color
Protrusion color	To match shingle color
Prohibitions	Homeowner to review and confirm compliance

\*\*Checklists represent only a summary of critical requirements which must be addressed in any submission for installation or alteration. The full published "Architectural Guidelines" represent the definitive requirements which must be met in full.

## 3.12 BUILDING MAINTENANCE GUIDELINES

**Painting:** Paint should be maintained so that the house shows uniform colors and coverage. Areas peeling or heavily faded or mildewed must be repainted and/or cleaned and the house restored to a uniform appearance. Proper application is required, and if spray equipment is used, care must be taken to avoid over spray. Only flat, matte, or semi-gloss finishes are allowed- no enamel or high gloss finish paints are acceptable (except on entry way doors). Painting must take place over a reasonable length of time, taking into account weather, not to exceed thirty (30) days.

**Building maintenance:** In all instances, repairs/replacement of any part of a building must be with materials which restore the repaired/replaced item to its original appearance. Any other cases must be approved by the Reviewer prior to construction.

**Soffits, trim and siding:** All exterior wood or other material used must be maintained in a properly fastened, non-rotted state. It must be fastened to the building side so that it is tight and shows no separation from the building along the entire piece. Pieces, which show evidence of rotting or breakage, must be replaced. Fastenings should be hot dip galvanized.

**Doors:** Entry doors that show rot or delamination must be repaired or replaced. Steel/solid wood is the preferred material. Garage doors must be operational and rot-free. Garage doors may be repaired on a section-by-section basis, but all the sections must match in style and color. Upon replacement, the garage doors must be painted the same color as the garage trim. Absolutely no garage conversions to living quarters are allowed.

**Gutters:** Shall be maintained tightly affixed to the building, without sag or kinks. They shall be the same color as the house to which they are affixed.

**Shingles:** To be maintained so as to present a uniform appearance so far as is possible. Repairs must be made with material, which matches its EXISTING color/texture, NOT its original. If this is not possible, and the repair would cover more than 10% of the roof area, replacement of the entire roof is required.

**Fences:** Wooden fences shall not have broken, loose, or rotted slats. Posts and stringers must be maintained so that the fence remains at right angles to the immediate surrounding ground. WOODEN FENCES may not be painted or stained. Wrought iron (metal) fences shall be kept painted and properly welded or bolted together. Fences must remain at right angles to the immediate surrounding ground surface as well. Breezeway and courtyard fence gates may be painted, provided color is approved by the Reviewer prior to painting or staining.

**Driveways:** Shall be maintained so that their surfaces, even if cracked, are flat. Edges that crack and are removed must be repaired to the original edge line. Drives, which have more than six (6) square feet of extensive oil/iron staining, must be cleaned.

**Storage:** NOTHING will be stored that can be viewed from a public street. Items such as folding chairs, toys, boxes, potting soil, construction material, barbecue pits, trailers, boats, cars that are not driven on a regular basis, trash cans, bags or bins, debris or any other item must be stored out of sight from public streets when not in active use.

## **4 ACCESSORY ITEMS**

### **4.1 ANIMAL PENS, RUNS, AND HOUSES**

There shall be no animal pens or dog runs of any kind in Grayson Lakes. Doghouses are permitted as long as they are not visible from outside the lot and are of a color and material that compliments the majority of the main residence. Doghouses must be located a minimum of 5' inside property lines and they must be located behind the rear wall of the owner's house.

### **4.2 BASKETBALL GOALS**

#### **Freestanding Basketball Goals**

Freestanding basketball goals are to be mounted on poles embedded in sufficient concrete to maintain the goal in a vertical position. The backboard should be installed so that it is perpendicular to the street. The goal must not be located closer to the right of way than 15' from the front building line of a home with an attached garage. All goal supports, backboards, rims and nets must be well maintained at all times and never violate side-building lines.

In homes with detached garages, goals must be located on garage, above door, or freestanding at least twenty-five feet (25') behind front building line.



The minimum construction specifications are:

- The pole must be metal or 4" x 4" treated wood. Creosoted posts are not acceptable.
- The backboard must be commercially manufactured out of materials that will not weather, warp or disintegrate.
- Only a shooting square may be painted on the face of the backboard. Logo, if any, shall not exceed 10% of the backboard area.

### **Portable Basketball Goals**

Portable Basketball Goals stored in public view are discouraged. Portable Basketball Goals stored in public view must conform to the same placement and construction standards as Freestanding Basketball Goals (above) and must be well maintained at all times.

Portable basketball goals stored in public view, like permanent freestanding basketball goals, require review by the Reviewer. Written approval from the Reviewer must be obtained and on file with the Association.

### **Placement:**

- **For Lots with attached garage:** Portable basketball goals stored in public view must not be located closer to the right of way than 15 feet from the building line.
- **For Lots with detached garage:** Portable basketball goals stored in public view must be at least twenty-five feet (25') behind the front building line.

**Portable basketball goal base:** Public view stored portable basketball goal base must be placed beside the driveway and recessed to grade level (i.e. remove grass under base) **and/or** screened with flowerbeds on three sides as to give the illusion that the portable basketball goal is a freestanding basketball goal.

### **Not permitted:**

- Portable basketball goals must not be moved or relocated from submitted approved placement.
- Portable basketball goals are not permitted within the public rights-of-way at any time.
- Portable basketball goals are not permitted in the streets or cul-de-sacs at any time.

### **Notes:**

- All goal supports, backboards, rims and nets must be well maintained at all times and never violate side-building lines.
- Portable basketball goals should be stored in the rear yard of the home or in the garage when not in use.



### 4.3 FLAGPOLES AND FLAGS

#### **FREESTANDING FLAG POLE**

**IMPORTANT NOTE:** *Requests for erection of a flagpole must be submitted and approved by the Reviewer prior to installation.*

**Flags that can be displayed:**

- The flag of the United States of America. The flag of the United States must be displayed in accordance with 4 U.S.C. Sections 5-10.
- The flag of the State of Texas. The flag of the state of Texas must be displayed in accordance with Chapter 3100, Government Code.
- An official or replica flag of any branch of the United States armed forces.

**Number of Flagpoles per lot:** One Freestanding flagpole per lot.

**Placement:** Freestanding flagpoles are to be embedded in sufficient concrete to maintain the pole in a vertical position. The flagpole must not be located closer to the right of way than 15 feet from the front building line of a home. The display of a flag, or the location and construction of the supporting flagpole, must comply with applicable zoning ordinances, easements and setbacks of record.

**Exemptions to flagpole placement:** *Boy Scouts patriotic flag placement on ceremonial calendar days are exempt from pole placement restrictions.*

**Size of Flag:** The maximum length of the flag should not exceed  $\frac{1}{4}$  the height of your pole. The maximum size of a flag for a 20ft pole is 3ft X 5ft.

**Number of Flags:** The maximum number of flags to be displayed on a single flagpole is 2.

**Maximum Height of Flagpole:** Not to exceed 20 feet in height.

**Flagpole Construction/Type:** Freestanding flagpoles are to be constructed of permanent, long lasting materials, with a finish appropriate to the materials used in the construction of the flagpole and harmonious with the dwelling.

**Halyard Type:** Internal halyard flagpole is required. The Association has reserved the right to impose reasonable restrictions to abate noise caused by an external halyard of a flagpole. (Ref. H.B. No. 2779)

**Maintenance:** A displayed flag and the flagpole on which it is flown must be maintained in good condition and any deteriorated flag or deteriorated or structurally unsafe flagpole must be repaired, replaced or removed. If it becomes apparent that the flagpole is not being used, the owner may be asked to remove the flagpole.

**Display:** It is the universal custom to display the flag only from sunrise to sunset on stationary flagstaffs in the open. However, when a patriotic effect is desired, the flag may be displayed twenty-four hours a day if properly illuminated during the hours of darkness.

**Lighting:** In the event the flag is displayed twenty-four hours a day, lighting must be shielded and angled upwards such that it does not negatively impact neighboring properties.

#### **HOUSE MOUNTED FLAGPOLES**

**Placement:** Flagpoles not to exceed 4 inches in diameter and 60 inches in length may be mounted on the front of the house. Flags visible from the exterior of a dwelling may be hung only on flagpoles meeting the above criteria.

**Size of Flag:** Flags shall not exceed 4' x 8' in size.

#### **Flags that can be displayed:**

- Only official flags of countries and seasonal decorative flags may be displayed.
- Flags which display trademarks or advertising, and battle flags and similar flags which, in the Reviewer's judgment, are intended to, or tend to, incite, antagonize, or make political statements (other than a statement of citizenship or country of origin of the residents of the dwelling), shall not be permitted.

**Maintenance:** Flags shall be maintained in good condition and shall not be displayed if mildewed, tattered or faded beyond recognition.

#### **4.4 HOLIDAY DECORATIONS AND DECORATIVE BANNERS**

**Display:** Banners and holiday decorations to be displayed only on recognized holidays:

- Easter
- Halloween
- Thanksgiving
- Christmas

**Time frame:** Two (2) weeks before holiday - one (1) week after holiday (Christmas decorations, including lights, may be displayed after Thanksgiving and removed by February 1<sup>st</sup> of the following year).

**Maintenance:** Decorations and banner must be well maintained at all times.

**IMPORTANT NOTE:** *Banners must meet placement and size guidelines of the House Mounted Flagpoles as defined in section 4.3. Banner must not be mounted inside windows, or on walls or doors of the exterior of house.*

# Architectural Guidelines

---

## 4.5 MAILBOXES AND LAMPPOSTS

Mailboxes and lampposts other than as installed by Declarant or any alterations thereto, shall be subject to review by the Reviewer and may not be permitted under applicable governmental regulations. The color, size, appearance and location of the mailboxes installed by Declarant shall be preserved and may not be altered unless approved by the Reviewer.

## 4.6 OUTDOOR FURNITURE

Furniture shall not be used, stored or kept on the exterior portions of any lot except that furniture specifically designed and intended for outdoor use may be used on patios, decks or porches. Furniture is to be made for exterior use and not furniture typically used in the interior of the home. Furniture exposed to the weather shall be limited to such types as are designed and intended for outdoor use.

Outdoor furniture, including park benches and porch swings, must be well-maintained and in harmony with the exterior design and color of the house. Outdoor furniture shall be black, brown, forest green and bronze as acceptable colors as well as a color nearest to the darkest color of the exterior of the home. Benches designed and intended for use outdoors and full exposure to the elements such as that typically found in garden settings may be placed in the front yard. Benches shall be an integral part of the landscape if used and not freestanding in lawn areas.

## 4.7 PLAY STRUCTURES

**Placement:** No play structures of any type are permitted in front or side yards.

Placement of play structures on lake lots must not result in encroachment into the storm inundation easement and must be in a location with the least amount of visibility from the street or common open areas on the lake.

No portion of the structure shall be closer than 10 feet to any fence line or property line and must be placed inside any existing fence. In the case of a corner lot, or a lot backing up to a landscape reserve on a residential collector road, play equipment or structures must be reasonably screened from public view by landscaping or fencing. Structure placement must be such as to avoid interrupting the view of neighbors.

**Materials:** Play structure frames and major structural elements should be made of wood, either natural in color, stained brown or painted brown. Roof shade components of the structure shall be of either earth tone canvas, shingles to match the home or earth tone wooden tiles. No brightly colored (including striped) canvas may be used and every effort must be made to keep the entire structure in harmony with the property in general.

**Size:** Platforms of play structures shall not exceed a height greater than 5' 6" from the original lot grade. The maximum allowable absolute height for any one part of the play structure is 11' from the original lot grade.

# Architectural Guidelines

---

**Swing Sets:** In addition to wooden swing sets, classical tubular metal swing sets are acceptable. Neutral colors are a requirement and maximum height is limited to 9' above the original lot grade. Placement must be consistent with that described above.

## 4.8 TRAMPOLINES

**Placement:** Located in back yard only; should be at least sixteen (16) feet away from any property lines. For lots that back up to the lake, placement of the trampoline cannot encroach into the storm inundation easement. Trampolines on lake lots must be in a location with the least amount of visibility from the street or common open areas on the lake. Trampolines must be screened from view by a fenced yard.

**IMPORTANT NOTE:** *No additional features can be added or attached to the trampoline without prior approval from the committee.*

## 4.9 GAZEBOS

**Placement:** Located in back yard only; should be at least sixteen (16) feet away from any property lines and not encroaching on any easements; for lots that back up to the lake, placement of the gazebo cannot encroach into the storm inundation easement.

**Size:**

- Maximum diagonal measurement or diameter should be fourteen (14) feet.
- Rectangular structures must not exceed fourteen (14) feet on any side.
- Roof peak should not exceed twelve (12) feet in height.
- Maximum overhang must not exceed twenty-four (24) inches, per side.

**Materials:**

- Materials must be treated wood, cedar, redwood, or treated wood painted to be in harmony with the existing home. Creosoted wood is not acceptable.
- Roof materials must be consistent with roof materials used on the home. No flags or weather vanes may be erected on top of roof except those that have been approved by the Architectural Review Committee. The Committee will approve on a case-by-case basis.

**Screening:** Gazebos must be landscaped if not screened from view by a fenced yard. Gazebos on lake lots may require additional landscaping and/or skirting.

**Lighting:** No high intensity spotlights/vapor lights can be attached to the structure.

**Maintenance:** Gazebo must be maintained in good condition.

# Architectural Guidelines

---

## 4.10 STORAGE BUILDINGS

**Placement:** Storage Buildings must not encroach side easements, utility easements, or side building lines. Storage Buildings must not be visible from any street. A plot map with location of the storage building clearly identified should be provided with submissions for review.

**Materials:** Storage Buildings should be constructed using the same materials currently on house. Finishes should match the existing finishes on house.

- **Foundation/Flooring:** Storage Buildings must be securely anchored in solid concrete foundation.
- **Roof Design and Shingles:** Storage Building roof must be Gable style (not barn style). The required architectural/dimensional shingles shall be consistent with the house design, style, and color.

**Height:** A Storage Building overall height (ground to peak) shall not exceed eight (8) feet.

**Size:** Storage Buildings should not exceed 120 sq. ft. in size, i.e. 12' x 10'. Maximum length in any direction should not exceed 12 feet.

**Accessories:** Storage Buildings may include Windows and Ridge Vents (if desired); however, Turbine Vents are not permitted.

**Quantity:** Only one Storage Building shall be permitted per residence. ***Storage Buildings are not permitted on lake lots.***

**IMPORTANT NOTE:** *Submission must be reviewed and approved by Reviewer prior to any construction or installation.*

## 4.11 DISPLAY OF CERTAIN RELIGIOUS ITEMS

**Display:** A property owner or resident may display or attach one or more religious items to each or any entry to their dwelling. Such item(s) may include anything related to any faith that is motivated by the resident's sincere religious belief or tradition. To the extent allowed by the Texas state constitution and the United States constitution, any such displayed or affixed religious item(s) may not:

- Threaten public health or safety.
- Violate any law.
- Contain language, graphics or any display that is patently offensive to a passerby.

**Size:** Individually or in combination with each other, the religious items at any entry may not exceed 12 inches by 12 inches or 144 square inches in total size. The item(s) may only be displayed on or attached to the entry doorframe and may not extend beyond the outside edge of the doorframe.

# Architectural Guidelines

---

**IMPORTANT NOTE:** *Approval of the Reviewer is not required for display of a religious item(s) in compliance with these Guidelines.*  
*As provided in Section 202.018, the Association may remove any religious item(s) display that violates these Guidelines.*

## 4.12 RAINWATER RECOVERY SYSTEMS

Rainwater Recovery Systems may be installed on a Lot only after the owner has completed and submitted the requisite Architectural Review Application to and received written approval from the Reviewer subject to these guidelines.

All such System(s) must be installed on land owned by the property owner who is requesting installation of a System(s). No portion of the System(s) may encroach onto adjacent properties or onto a common area.

Other than gutters and downspouts conventionally attached to a residential dwelling or appurtenant structure, all components of the System(s), such as tanks, barrels, filters, pumps, motors, pressure tanks, pipes and hoses, must be substantially screened from public view from any street or common area. Screening may be accomplished by:

- Placement behind a solid fence, a structure or vegetation
- By burying the tanks or barrels
- By placing equipment in an outbuilding otherwise approved by the Reviewer.

A rain barrel may be placed in a location visible from public view from any street or common area only if the configuration of the guttering system on the structure precludes screening as described above with the following restrictions:

- The barrel must not exceed 55 gallons and
- The barrel must be installed in close proximity to the structure on a level base with the guttering downspout leading directly to the barrel inlet at a substantially vertical angle and
- The barrel must of a single color to blend in with the adjacent structure or vegetation and
- Any hose attached to the barrel discharge must be neatly coiled and stored behind or beside the rain barrel in the least visible position when not in use
- Overflow lines from the System(s) must not be directed onto or adversely affect adjacent properties or common areas.
- Inlets, ports, vents, and other openings must be sealed or protected with mesh or other similar material to prevent children, animals and debris from entering the barrels, tanks or other storage devices. Open top storage containers are not allowed.

Harvested water must be used in a timely manner and not allowed to become stagnant or a threat to health.

All System(s) must be maintained in good repair. Unused System(s) should be drained and disconnected from the gutters. Any unused System(s) in public view must be ~~removed from public view from any street or common area.~~

---

# Architectural Guidelines

---

## 4.13 SOLAR ENERGY DEVICES

These guidelines apply to solar energy devices ("Devices") as defined in Section 171.107(a) of the Texas Tax Code. A solar energy device means a system or series of mechanisms designed primarily to provide heating or cooling or to produce electrical or mechanical power by collecting and transferring solar-generated energy. The term includes a mechanical or electrical device that has the ability to store solar-generated energy for use in heating or cooling or in the production of power.

Such Devices may only be installed with prior written approval of the Reviewer subject to these Guidelines.

Any such Device must be installed on land or a structure(s) owned by the property owner. No portion of the Device(s) may encroach on adjacent properties or common areas.

Such Device(s) may only be installed in the following locations:

- On the roof of the main residential dwelling
- On the roof of any other approved structure
- Within a fenced yard or patio.

For Devices mounted on a roof, the Device must:

- Have no portion of the Device higher than the roof section to which it is attached and
- Have no portion of the Device extend beyond the perimeter boundary of the roof section to which it is attached and
- Conform to the slope of the roof and
- Be aligned so the top edge of the Device is parallel to the roof ridge line for the roof section to which it is attached and
- Have a frame, brackets and visible piping or wiring that is a color to match the roof shingles or a silver, bronze or black tone commonly available in the marketplace and
- Be located in a position on the roof which is least visible from any street or common area, so long as such location does not reduce the estimated annual energy production more than 10% over alternative roof locations (as determined by a publically available modeling tool provided by the National Renewable Energy Laboratory [[www.nrel.gov](http://www.nrel.gov)] or equivalent entity.)

For Devices located in a fenced yard or patio, no portion of the Device may extend above the top of the fence. If the fence is not a solid fence which blocks view of the Device, the Association may require the Device(s) be placed in a location behind a structure or otherwise require visual screening. The Association may consider installation of such Device(s) on properties without a fenced yard if there is adequate screening from public view from any street or common area.



# Architectural Guidelines

---

All Devices must be installed in compliance with manufacturer's instructions and in a manner that does not void material warranties. Licensed craftsmen must be used where required by law. Permits must be obtained where required by law.

Installed Device(s) may not:

- Threaten public health or safety or
- Violate any law or
- Substantially interfere with the use and enjoyment of land by causing unreasonable discomfort or annoyance to any adjoining property owner.

All Devices must be maintained in good repair. Unused or inoperable Device(s) must be removed.

## 4.14 BURGLAR BARS

Burglar bars are to be installed on the inside of windows only.

Burglar bars may not be visible from the street.

No burglar bars or iron gates may be installed on front doors.

## 4.15 PROHIBITED STRUCTURES

Accessory buildings and structures, including greenhouses, guest houses, and tents of a permanent nature are prohibited on lots.

Statues, monuments, ornaments, water features or similar objects taller than three feet (3') in height that are visible from the street or by neighbors are prohibited on lots.

Clotheslines or clothes poles are prohibited.

## 4.16 SATELLITE DISHES AND ANTENNAE

**Permitted Devices:** No satellite dishes, antennas or similar devices designed for transmission or reception of radio, television or other broadcasts of any kind are permitted on any lot without prior approval, except that the following "Permitted Devices" may be installed on a lot without application or prior approval, provided they are installed in strict compliance with this section:

- Antennae or satellite dishes designed to receive direct broadcast satellite service which measure one meter or less in diameter;
- Antennae or satellite dishes designed to receive video programming services via multi-point distribution services which are one meter or less in diameter or diagonal measurement; or
- Antennae or satellite dishes designed to receive television broadcast signals



# Architectural Guidelines

---

**Placement:** A Permitted Device may be installed solely on the owner's lot and shall not encroach upon any street, Common Area, or any other owner's lot. A Permitted Device shall be installed in that location on the lot from which an acceptable quality signal can be obtained which is least visible from the street, from other lots, and from public view. In order of preference, the locations considered to be least visible are:

- In the back yard, on the ground or elevated no higher than 12 feet off of the ground if necessary to obtain an acceptable quality signal, and screened from view of adjacent lots and the street then
- In the side yard, on the ground or elevated no higher than 12 feet off of the ground if necessary to obtain an acceptable quality signal, and screened from view of adjacent lots and the street then
- Attached to the back of the house, with no part of the Permitted Device any higher than the lowest point of the roofline and screened from view of adjacent lots and the street then
- Attached to the side of the house, with no part of the Permitted Device any higher than the lowest point of the roofline and screened from view of adjacent lots and the street.

**Mast Installation:** Mast height may be no higher than absolutely necessary to receive an acceptable quality signal. For safety reasons, the location of any mast that must extend more than 12 feet above the ground is subject to application and prior approval of the Reviewer. Any such application must include a detailed description of the structure and anchorage of the antenna and the mast. If this installation will pose a safety hazard to residents of adjacent properties, then the Association may prohibit such installation. The notice of rejection shall specify these safety risks.

A licensed and insured contractor must install masts.

Masts must be painted the appropriate color to match their surroundings.

In order to minimize hazards to persons and property if the mast were to fall during a storm or from other causes, masts shall not be installed nearer to the lot line than the total height of the mast and antenna and any structure on which it is mounted.

# Architectural Guidelines

---

## 4.17 SIGNAGE

Signs shall not be placed so as to be visible from the outside of a dwelling on a lot with the exception of:

- One temporary "For Sale," "For Lease" or "For Rent" sign placed on the lot being advertised "For Sale," "For Lease" or "For Rent." The sign shall be limited to a maximum face area of five square feet on each visible side and, if freestanding, is mounted on a single or frame post. The overall height from finished grade at the spot of the sign may not exceed four feet. The sign must be removed within two working days following the closing of the property or the termination of the listing agreement.
- "Open House" signage placed in common areas and in front of the residence, should be removed after the open house engagement is complete.
- One small security service sign per house provided the sign has a maximum face area of two square feet and is located in landscape beds nearest the home.
- Temporary political signs, flags and/or banners on the exterior of a residence but comply with Texas Title 15 Section 259.002 and Fort Bend County requirements. Political advertising is permitted, on or after the 90th day before the date of the election to which the sign relates; but must be removed from the exterior of the residence before the 10th day after that election date. Runoff elections have the same restrictions - 90 days before and 10 days after the election for the display of political signage.
- School spirit signs are permitted with no more than one sign per child per residence, not to exceed four hundred and fifty (450) square inches (approximately 24" x 18").
- Temporary Trade Signs- Temporary trade signs are permitted for only the duration and 10 days after the service has been rendered. This includes but is not limited to contractors, landscapers, painters and roofers.
- Temporary Estate/Garage/Yard sale signs are only permitted through HOA function Estate/Garage/ Yard Sales events in the neighborhood. Advertising an event, for a period of (3) days prior to the event and signs must be removed within the following day of completion. This includes, but is not limited to, "Estate Sale", "Garage Sale", or "Yard Sale."

Such permits as may be required by legal proceedings. Such permits as may be required by governmental entity.

Residents shall be permitted to post "no soliciting" signs near or on the front door. Any such sign shall not exceed a size of twenty-five (25) square inches. Color of sign shall be as commercially available.

## 4.18 TRASH CONTAINERS

Trash containers and recycling bins must be stored in one of the following locations:

- Inside your garage
- Behind your home so that the house blocks the trash container from view from the street
- Along the side of your home, provided they are set back at least 10' from the

# Architectural Guidelines

---

front facade of the home and reasonably screened from public view.

In addition to the above requirements, additional screening is encouraged to further screen trash containers from view by neighbors.

## **4.19 STORM WINDOWS AND DOORS**

Storm doors and windows must be full-view glass. No screen doors are permitted on the front of homes.

## **4.20 WOODPILES**

Woodpiles are permitted only in the rear yard of residences and should not be visible from outside the lot.

# Architectural Guidelines

---

## 5 LAKE GUIDELINES

### 5.18 BOAT GUIDELINES

#### 5.1.1 RULES FOR BOATING ON LAKE GRAYSON

1. Lake Grayson is a "NO WAKE ZONE."
2. No internal combustion engines allowed on Lake Grayson.
3. Residents must accompany guests when fishing or using the lake facilities. Permission letters from residents to their guests are not permitted.
4. Residents must produce their Grayson Lakes I.D. or have some form of proof of residency.
5. All Grayson Lakes residents are allowed to use the lake facilities regardless of their location.
6. Absolutely no swimming in Lake Grayson.
7. No bow or spear fishing allowed in Lake Grayson.
8. Please adhere to the "catch and release" policy when fishing in Lake Grayson.
9. Grayson Lakes has adopted the City of Houston Ordinance for Regulating General Noise Nuisances.
10. Boats must always be operated in a safe and seamanlike manner, so as not to disturb the peacefulness of the neighborhood.

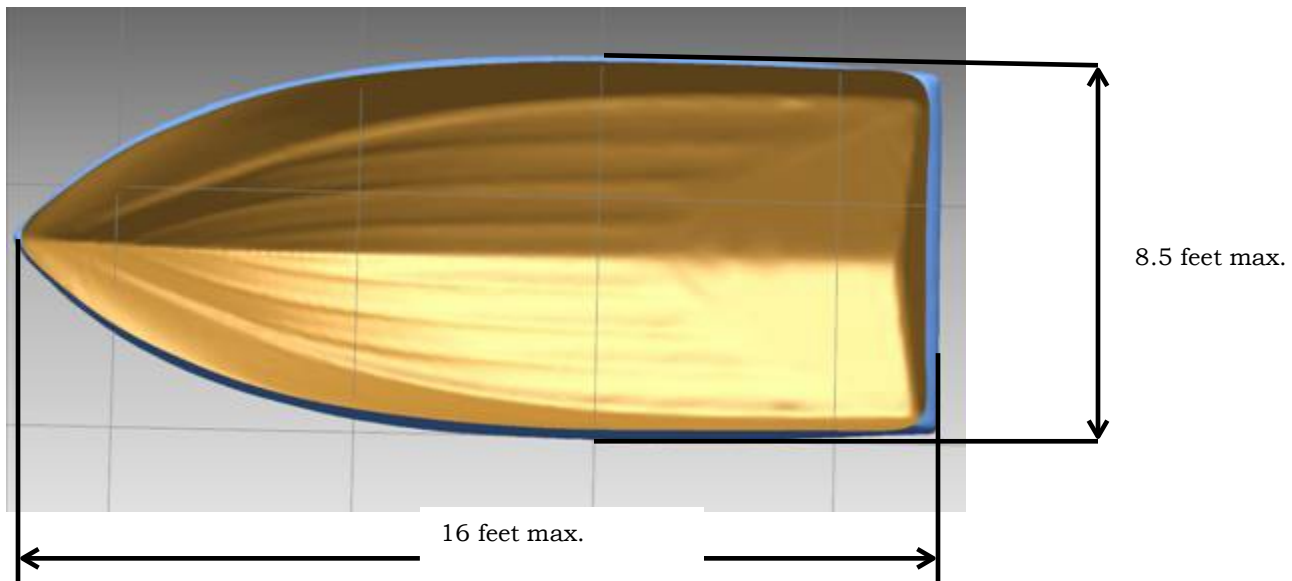
#### 5.1.2 BOAT USE AND STORAGE ON LAKE GRAYSON (for properties not abutting the lake)

1. Boats must be clean and well maintained.
2. Boats must be properly drained at all times.
3. Boat size cannot exceed sixteen (16) feet in length and eight and ½ (8.5) feet in beam, with the exception of canoes or kayaks, which cannot exceed seventeen (17) feet in length and forty-eight (48) inches in beam. The Reviewer will consider exemptions based on significant evidence of limited market availability of products that meet these guidelines.
4. Only one (1) 2-person or more boat (watercraft), and no more than two (2) 1-person boat (watercraft) allowed per household.
5. Boats must always be operated in a safe and seamanlike manner, so as not to disturb the peacefulness of the neighborhood.
6. Boats may never be stored on any lot in a location that is visible from the street or from a neighboring lot.
7. Boats may never be stored in the front or visible side yard of the property.
8. Only boats approved to operate on Lake Grayson may be used.

# Architectural Guidelines

## 5.1.3 BOAT USE AND STORAGE ON LAKE GRAYSON (for properties abutting the lake)

1. Only boats approved to operate on Lake Grayson may be used or stored.
2. Approval must be obtained from the Reviewer for all boats (watercraft) prior to their being operated on Lake Grayson.
3. Construction must be wood or fiberglass for all sail and deck boats. Twin hull boats must be of fiberglass construction.
4. Boats must be clean and well maintained.
5. Boats must be properly drained at all times.
6. Boat size cannot exceed sixteen (16) feet in length and eight ½ (8.5) feet in beam. Outside measurements apply. Please refer to Fig. 1 for illustration of relevant dimension limits



**Fig. 1**

Exceptions apply to canoes or kayaks, which cannot exceed seventeen (17) feet in length and forty-eight (48) inches in beam. Again, outside dimensions apply.

7. Only one (1) 2 or more -person (watercraft), and no more than two (2) one-person boat (watercraft) allowed per household on the lake or in view.
8. No internal combustion engines allowed on Lake Grayson.
9. Shade covers must be laid flat or removed when not in use, so as not to obstruct the view of the lake.
10. Boats must always be operated in a safe and seamanlike manner, so as not to disturb the peacefulness of the neighborhood.

# Architectural Guidelines

---

11. If boats are docked on the lake, they must be secured at both ends to be parallel with the bulkhead. Boats must be secured with a marine-type rope and length of rope should be such that it does not allow the boat (watercraft) to impede navigation in the lake.
12. Boats must be stored in the rear yard, with the following provisions:

Boats stored in rear yard must be stored on a professionally constructed ramp of wood, brick or other aesthetically pleasing material. Canoes and kayaks may be stored on rack type supports. All structures must be approved by the Reviewer prior to construction.
13. Canoes and/or kayaks are not to be stored by leaning on or being fastened to wrought iron fences.
14. All devices for removing the boat from the water must be approved by the Reviewer prior to construction.
15. Boats must never be stored in the front yard of any property.
16. Grayson Lakes is part of a storm water detention system that is periodically subject to inundation within the lake area. (See plat for boundary of detention easement.) Neither Grayson lakes Community Association nor Fort Bend County M.U.D. 130 is responsible for damage to boats (watercraft) or appurtenances pertaining thereto because of periodic inundation.

## 5.19 LAKE DOCKS

**Preamble:** Lake residents have experienced great difficulty in maintaining their docks in stable condition, particularly during times of flooding when the entire structures are frequently totally immersed or float. Construction shortcomings have often caused the docks to float resulting in the total structure being compromised and in addition some of the docks have settled leaning into the lake. Failures to heed the warning NOT to use the concrete apron as a support member and to pile or otherwise stabilize the uprights adequately have contributed significantly to the issue. The ARC has sought advice from professional dock builders, has researched the matter via the internet, discussed with homeowners whose docks have fared well under high water conditions and has given consideration to:

- More competent installation of docks of the current general design,
- Cantilever designs and
- Floating docks.

It has been concluded that the preferred structure for the moment is of the conventional design with the provisos that the uprights be competently located in

---

# Architectural Guidelines

---

such a way as to avoid any movement once located and stabilized and that the platforms be raised to reduce the instances of submersion. Robustness of construction and materials used are also recognized as important factors in achieving longevity.

Consideration will be given to submissions involving cantilever designs which maintain the same overall general appearance features required of conventional docks. At this time, we will defer consideration of floating docks which would, by default, continue to be disallowed for the time being.

Under no circumstances will approvals be given for dock installations without the homeowner first attending an ARC meeting to discuss the pros and cons of any designs submitted at which time recommendations will be given by ARC with a view to an achievement of a successful outcome.

- 1. Location and Placement:** Docks are only permitted on private lots whose property line extends to the lake. All docks must be located at or near the center of lot water frontage unless a different location is requested and approved by the ARC. Placement of the dock must not encroach on side building lines or side easements. No shoreline modifications are permitted. Docks installed are subject to rising water levels as Lake Grayson is a water detention easement of MUD 130.
- 2. Construction/Finishes:** Docks shall be constructed of appropriate materials with said materials being subject to the approval of the ARC. Docks are to be constructed in such a manner that they are aesthetically appealing while being of robust construction. Fundamental dock support must not rely on nor utilize the concrete apron edging the lake, this to avoid destabilization of the structure caused by failure of the apron. The ARC strongly encourages that pilings be driven into the lake bottom or uprights be otherwise securely located by professional dock builders skilled in installation under conditions prevailing on the lake in question. No "floating docks" are permitted at this time but consideration will be given, on a case-by-case basis to cantilever docks which have appearance in keeping with the conventional docks customarily built on the lake. Approvals will be solely at the discretion of the ARC.
- 3. Height:** Maximum height of all dock platforms shall not exceed 30 inches above normal water level. (Normal water level is considered to be at the top edge of the concrete apron around the lake.) Any type of piling, posts or railing used for dock must not exceed 27 inches in height above dock platform. (Consideration should be given to height being appropriate to any required access to boats.)

# Architectural Guidelines

---

- 4. Dock Size:** Maximum width allowed is 1/3 of water frontage with an absolute maximum of 35 feet parallel to the shoreline. Maximum length perpendicular to the shore shall be no more than 12 feet for the total structure beyond the top edge of the concrete apron. Steps and other structures providing to the dock and located on the property are in addition to the 12' limit. Variances in size will be considered by the ARC on a case-by-case basis and only under exceptional circumstances.
- 5. Accessories:** No covered docking facility will be allowed, nor will any portion of said dock be enclosed in any manner for storage.
- 6. Quantity:** Only one (1) dock will be allowed for each lot.
- 7. Approval:** Submissions must be reviewed and approved by the ARC prior to any construction or installation. Submitters must attend an ARC monthly meeting in person to discuss the details of design and construction and to present a case supporting the robustness of the structure. The approval of the ARC does not relieve the owner and/or contractor from obtaining any other governmental approvals that may be required. MUD 130 approval is required prior to installation.
- 8. Maintenance:** All docks must be well maintained so as to have a neat and orderly appearance.
- 9. Lighting:** Exterior lighting is defined as lighting placed on the outside of the residence or property for the purpose of illuminating the yard or structure. No exterior lighting, other than indirect lighting and motion detector lights, shall be placed, allowed or maintained on any lot without prior written approval and authorization of the Association.  
Exterior lighting shall be installed in a manner that will not cause unnecessary light spill distraction, nuisance or be unsightly. Outdoor spotlights and flood lighting must be shielded and focused downward.

Any and all exterior lighting installed upon any lot shall either be indirect or shall be of such controlled focus and intensity that it will not unreasonably disturb any of the owners of neighboring lots. Exterior lights shall be placed and focused such that they do not shine into or across neighboring lots. Visible or exposed floodlights are prohibited.

Any exterior light that is determined to be a nuisance to neighbors will be considered a violation. The owner will be required to adjust or remove the equipment upon written notice from the Association.

Exterior lighting must be on a motion sensor or timer. Exterior lights on timers should be set to shut off no later than 12:00 (midnight).



# Architectural Guidelines

Exterior residential lighting can convey a warm, inviting atmosphere and aid in providing nighttime security without annoying others. Selection and placement of fixtures, and selection of light source types, should be done with care.

High-pressure sodium lights, except for subdivision streetlights, are prohibited.

## Front Yard Planting Options:

Mercury vapor security lights, when the fixture is visible from public view or from other lots, are prohibited.

Colored lenses on low voltage lights, colored light bulbs, fluorescent and neon lighting are not permissible.

Incandescent, low voltage incandescent, metal halide, quartz and natural gas lights are acceptable.

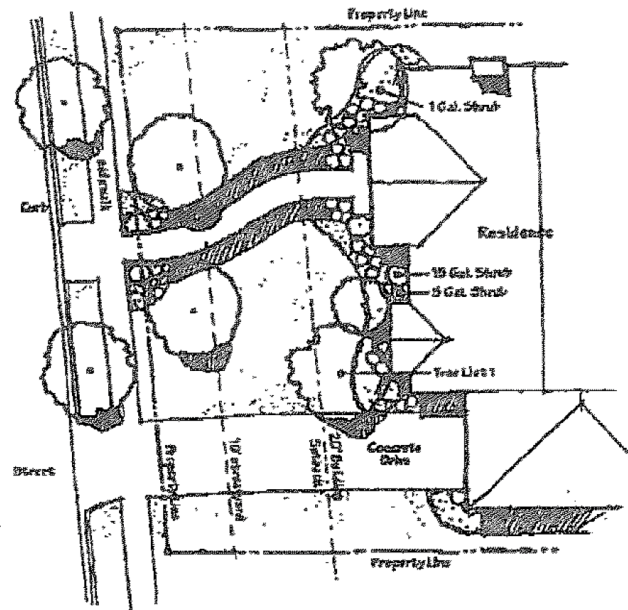


Exhibit 17.1-A

## 6 LANDSCAPE GUIDELINES

### 6.1 LANDSCAPE DESIGN

1. Residents are encouraged to consult with professional landscape architects, landscape designers or nurserymen for assistance in landscape design.
2. Planting beds should be curvilinear with the shrubs massed in tiers: smaller shrubs and ground cover should be in the front of the bed; larger shrubs in the rear of the bed, grouping shrubs of the same size and species that will provide a substantial look.
3. Care should be taken when planting large trees and shrubs near the foundation to avoid damage to the foundation as the roots begin to grow.

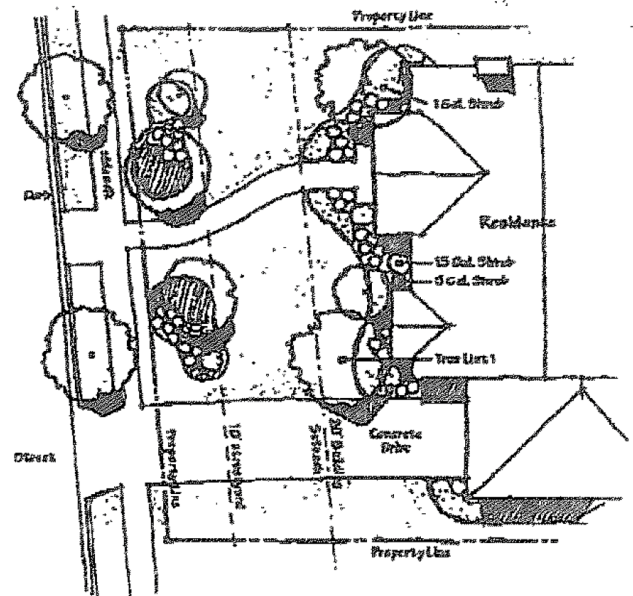


Exhibit 17.1-B

## Architectural Guidelines

---

It is suggested by landscape professionals that large trees and shrubs should be planted no closer to the foundation than two (2) times the diameter of the root ball of a mature plant.

4. For a more pleasing effect, a radius bed should be placed a minimum of 8 feet at the curve from the house. Widths of the beds should vary. A single row of foundation planting is not pleasing.
5. Planting beds, in addition to foundation plants, should extend toward the front property line to offer a more lush appearance (see Exhibits 17.1-A and 17.1-B). Plant material placed near the front property line, and adjacent sidewalks, should have low growth habits for easier trim maintenance.
6. Planting should be mulched with 2-inches deep shredded pine or hardwood mulch. Bare ground is not appealing and is difficult to keep weeded.
7. Gravel and rock may be used at the drip line of a house, but should not be used as a substitution for shrubs, ground cover, mulch or grass lawns. Specimen boulders are permitted upon approval of the Reviewer.
8. If re-sodding lawn, submissions must be sent to the Reviewer for approval.

### 6.2 MINIMUM LANDSCAPE REQUIREMENTS

All yards should be close to the minimum combination of the following trees, shrubs, ground cover and grass. Including street trees, a minimum number of trees shall be planted in the yard of each lot. Front yard trees and corner side yard trees should be container grown or machine dug trees. They are to have a minimum 4-inch (4") caliper diameter measured twelve inches (12") from the base of the tree. Street trees are to be minimum 30-gallon two-inch (2") caliper diameter spaced equally along the street between the curb and the sidewalk.

***The minimum standards are listed in the chart below. If trees die, please refer to it for replacement. If you are adding landscaping, please submit plans to the Reviewer. Any landscaping that will be significantly modified must have prior approval from the Reviewer.***

#### FRONT YARD TREES

Front Lot Widths		Trees		Street Trees
From	To	4" Caliper from List 1	2" Caliper from List 2	2" Caliper 30 Gal.
	<42'	1	0	1
42'	69'	3	0	2
70'	88'	3	0	2

## Architectural Guidelines

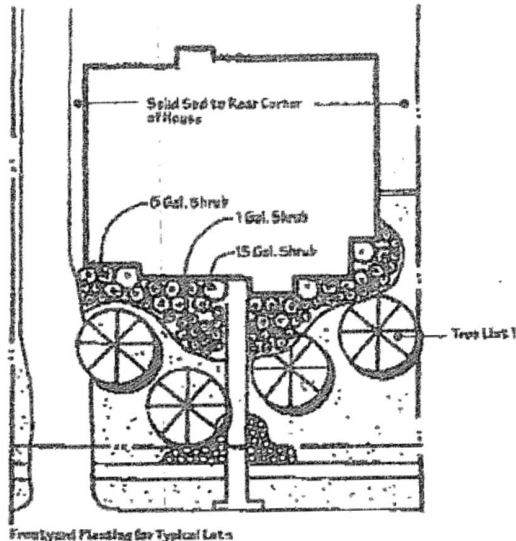
89'	122' with less than 50 foot setback	3	1	2
89'	122'	4	1	2
>122		5	2	3

### **Recommendations for existing homes/yards**

1. Homeowners are allowed to apply to the Reviewer to remove a tree too close to the home or too close to another tree.
2. Homeowners should choose a tree from the recommended list when replacing a dead tree, or obtain approval from the Reviewer for another type. Example: choosing from the Ornamental trees to replace a shade tree. If a homeowner chooses a tree not on the recommended lists, approval must be obtained from the Reviewer.
3. Shrubs: Front yards are required to have a sufficient number of shrubs to cover the foundation as viewed from the street. Landscapers usually recommend a "layered or tiered" look with taller shrubs closest to the house with smaller (dwarf) sized shrubs in front. Since some the shrubs originally planted have grown too large for their locations in front of windows, homeowners should be able to remove some shrubs.
4. Shrubs: Rear yards with public views are required to be landscaped with shrubs. Perennials and annuals could be used to fill in the space, not just shrubs. Plants should hide the foundation.
5. Trees: Rear Yards with public views and lots abutting to the lake. *(see table next page)*

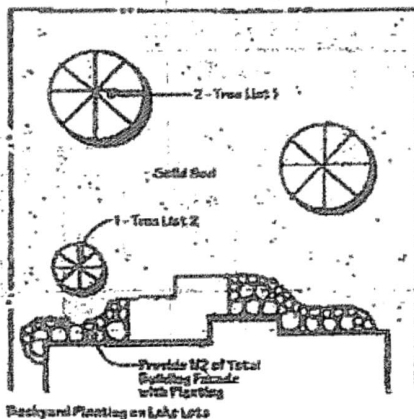
# Architectural Guidelines

**The minimum standards are listed in the chart below. If trees die, please refer to it for replacement. If you are adding landscaping, please submit plans to the Reviewer. Any landscaping that will be significantly modified must have prior approval from the Reviewer.**



**Exhibit 17.1-E**

Lehe



**Exhibit 17.1-F**

SIDE YARD ON CORNER LOTS							
Front Lot		Trees		Street Trees	Shrubs		
From	To	4" Caliper from	2" Caliper from	4"	15	5	1
	<42	0	1	1	2	8	15
42	69	1	1	1	2	11	23
70	88	2	1	2	3	15	30
89	122	3	2	2	3	23	45
>122		4	2	2	4	30	60

**Chart 17.1-B**

REAR YARD WITH PUBLIC VIEWS							
Front Lot		Trees		Street	Shrubs		
From	To	4" Caliper from	2" Caliper from		15	5	1
	<42	1	1		2	8	15
42	69	2	1		2	11	23
70	88	2	2		2	15	30
89	122	3	2		3	23	45
>122		4	2		4	30	60
Solid sod rear yard							

**Chart 17.1-C**

# Architectural Guidelines

---

## **Suggested Shade Trees**

Bald Cypress  
Burr Oak  
Nutall Oak  
Overcup Oak  
Water Oak  
White Oak  
Cedar Elm  
Live Oak  
Magnolia  
Monterrey Oak  
Pecan  
Red Maple  
Drumend Maple

## **Suggested Shrubs**

Abelia  
Cleyera  
Dwarf Crape Myrtle  
Dwarf Wax Myrtle  
Dwarf Pittosporum  
Dwarf Pyracantha  
Floribunda Rose  
Fountain Grass  
Indian Hawthorn  
Italian Jasmine  
Loropetalum: Chinese fringe flower  
Mexican feather grass  
Muhly grass  
Nandina  
Oleander, dwarf  
Pineapple Guava  
Pittosporum  
Possum Haw (holly)  
Texas Silverleaf sage  
Variegated Pittosporum  
Little John Bottle Brush

## **Not Recommended**

Banks Rose (*Rosa banksea*), it is a climbing rose that reaches 20 ft. tall and 12 ft. wide  
Pampus Grass —too large, plumes produce pollen that many are allergic to.  
Fatsia: (Japanese aralia) tropical and not in keeping with the character of Grayson Lakes. Also harmful to foundations.

## **Suggested Ornamental Trees**

American Holly  
Crape Myrtle  
Purple Leaf Plumb  
Redbud  
Yaupon Holly  
Evergreen Chinese Elm

## **Not Recommended**

Pine and Tropical trees: are not in keeping with the character of Grayson Lakes community.

## **Recommended Ground Cover & Vines**

Ajuga  
Algerian Ivy  
Boston Fern  
Carolina Jessamine  
Chinese Star Jasmine  
Chinese Wisteria  
Climbing Fig  
Crossvine  
English Ivy  
Holly Fern  
Honeysuckle, preferably native  
Coral Honeysuckle  
Japanese Star Jasmine  
Lamb's Ear  
Liriope  
Monkey Grass  
New Gold Lantana  
Wood Fern

## **Not Recommended:**

Japanese Honeysuckle which is invasive and not a native plant.  
Trumpet Creeper – too invasive, rampant

# Architectural Guidelines

---

## **Suggested Annuals & Bulbs**

### ***Spring and summer***

Amaryllis  
Angelonia  
Begonias  
Bluebonnet  
Daylily  
Dusty Miller  
Impatien  
Lily of the Nile  
Marigold  
Periwinkle (Vinca)  
Petunia  
Portulaca  
Purslane  
Rain Lily  
Salvia  
Verbena  
Zinnia

### ***Fall & Winter***

Chrysanthemum  
Dianthus  
Daffodil  
Narcissus  
Pansies  
Tulips  
Snapdragons  
Viola

# Architectural Guidelines

---

## **Grass**

St. Augustine is recommended. Lawns may be "over-seeded" with rye grass (maintained to 2 ½"). Wood fenced rear and side yards may be sprigged. Solid sodding is required on all portions of the lot with public view. This includes the street side of a corner lot and the rear of lake, lake view, and greenbelt lots visible by the public.

## **Plant Beds — Edging**

Planting bed edging is not required, but is encouraged for maintenance purposes and to define the shape of planting beds. Edging that will be conducive to easy maintenance with string weed eaters or powered edgers should be considered.

Railroad ties, landscape timbers, scalloped concrete borders, etc. are discouraged and may not be used as the main border for planting beds. Edging shall not compete with the visual quality of planting beds, but rather enhance its overall appearance.

Landscape beds located along sidewalks should be planted with materials that will not pose a hazard to the public. Sharp, thorny or extremely large plants are not allowed. Plant materials shall be maintained and not obstruct any portion of the walkway. Homeowners should get approval from the Reviewer for use of rocks or extruded concrete

## **Corner Lot — Planting**

Corner lots that do not have landscape reserves or easements should soften long walls or fences with landscaping. Fences shall be set back at least twelve feet (12') from the sidewalk to allow for landscaping and visual space.

Fences on corner lots adjacent to side streets, that are thirty feet (30') or more long, should have a planting buffer between the fence and sidewalk to help soften the look.

A thirty-five-foot (35') by thirty-five-foot (35') sight distance triangle is required for visibility to traffic. Make sure planting does not violate this requirement. Trees and shrubs should not impede pedestrian access on the public sidewalk.

## **6.3 LANDSCAPE MAINTENANCE**

- Lawns must be kept in a neat and manicured fashion.
- Lawns should be mowed regularly during the growing season to accomplish a neat and manicured appearance and on an "as-needed" basis in the non-growing season consistent with the community standard.
- Proper maintenance includes watering and disease control.
- Dead grass and bare areas must be re-sodded and returned to full grass cover.
- Flowerbeds and tree-rings must be kept weed-free.

# Architectural Guidelines

---

- All 'clumps of weeds' must be removed from lawn.
- The borders of the lawn must be kept neatly edged (walks, drives, buildings, flower beds, posts, curbs, etc.).
- Grass clippings must be removed from driveways, sidewalks, and streets.
- All shrubs and bushes must be kept neatly trimmed.
- All dead trees, shrubs and ornamental plants must be removed and replaced to the original approved condition.
- All dead material must be removed.
- Plant material shall be maintained and not obstruct any portion of the walkway.
- Branches overhanging sidewalks should be trimmed up at least six feet (6') to allow walkers to pass.
- Any landscaping that will be significantly modified must have prior approval from the Reviewer.

## **7 CONSTRUCTION RULES**

### **7.1 CONSTRUCTION SITE**

Each Owner shall be responsible for the condition of his or her construction site and must check with local authorities concerning requirements for construction fencing and other safety measures that may be applicable to the project. All modification projects expected to require more than two weeks of construction time must be screened from the street in order to prevent an unsightly neighborhood situation. All screening materials are subject to prior approval by the Reviewer. Construction activities shall be contained to the lot on which modifications or improvements are being undertaken. Each Owner shall be responsible for keeping roadways, easements, swales, and adjacent property clear of construction materials, debris, and trash at all times, and for promptly removing from streets in Grayson Lakes any mud, dirt or spilled construction materials resulting from construction activities on such Owners' lot. Construction debris, trash and rubbish shall be contained on the construction site and regularly disposed of in an appropriate manner outside of Grayson Lakes.

### **7.2 TEMPORARY STRUCTURES**

Installation of temporary structures such as construction trailers or storage buildings is prohibited.

### **7.3 UTILITIES**

Contractors must use only the utilities provided on the immediate site on which they are working, unless other formal arrangements have been made and notice given to the Reviewer.

Contractors are responsible for arranging for, and the cost of repairing, any damage to telephone, cable TV, electrical, water or other service lines resulting from the activities of themselves or their subcontractors.



# Architectural Guidelines

---

## **7.4 HOURS OF CONSTRUCTION**

Construction activity is permitted Monday through Saturday from 7:00 a.m. until 7:00 p.m. Advance permission from the Reviewer is needed for work or material deliveries at other times. Work may be prohibited on certain holidays.

## **7.5 CONTRACTOR ADVERTISING**

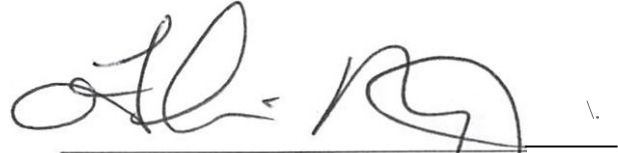
No signs advertising the business of contractors or subcontractors may be installed or displayed on any construction site. Such signs will be removed and may be disposed of by the Association's personnel.

Robert V. North  
Attorney and Agent-in-Fact  
Grayson Lakes Community Association, In c.



SIGNED AND SWORN TO BEFORE ME, on this 11<sup>th</sup> day of \_\_\_\_\_, 2019.



  
\_\_\_\_\_  
Notary Public in and for the State of Texas

**After Recording, Please Return To:**

NORTH LAW, P.C.  
1010 Lamar, Ste 1500  
Houston, TX 77002

**FILED AND RECORDED**  
**OFFZ.S**



Laura Richard, County Clerk  
Fort Bend County Texas  
October 17, 2019 03:40:50 PM  
FEE:\$41.00 DP2 **2019119551**



*Laura Richard*  
Laura Richard, County Clerk  
Fort Bend County Texas  
Pages: 6 Fee: \$ 36.00

**AFFIDAVIT OF THE**  
**GRAYSON LAKES COMMUNITY ASSOCIATION, INC.**  
**TO FILE DEDICATORY INSTRUMENTS PURSUANT TO**  
**TEXAS PROPERTY CODE §202.006**

STATE OF TEXAS                   §  
   §  
COUNTY OF FORT BEND       §

BEFORE ME, the undersigned authority, on this day personally appeared Robert V. North, Attorney and Agent-in-Fact for the Grayson Lakes Community Association, Inc., known to me and who being by me duly sworn, upon oath, deposes and states:

"My name is Robert V. North. I am above the age of eighteen years and am fully competent to make this Affidavit. I am the attorney and agent-in-fact for the Grayson Lakes Community Association, Inc. ("Association"), a Texas non-profit corporation, operating in Fort Bend County, Texas. I have personal knowledge of all the facts stated herein and am fully authorized to make this Affidavit in behalf of the Association.

In my capacity as attorney and agent-in-fact for the Association, I am, in part, responsible for maintaining some of the Association's business records. I have reviewed the Association's business records and the statements below are within my personal knowledge true and correct.

I am a custodian of the records of the Association. Attached to this Affidavit are a number of pages of records from the Association. The attached records are kept by the Association in the regular course of business, and it was the regular course of business of Association for an employee or representative of the Association, with knowledge of the act, event, condition or opinion, to make the record or transmit information thereof to be included in such record; and the record was made at or near the time or reasonably soon thereafter. The records attached hereto are the original or exact duplicates of the original. A list of these records is as follows:

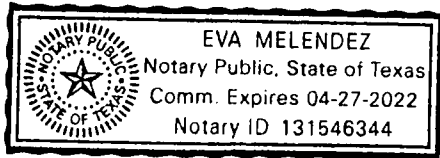
- 1) Amendment to Architectural and Aesthetic Guidelines for Single-Family Residences in Grayson Lakes Sections 3.11 Roofs and Rooftop Equipment and 4.17 Signage"

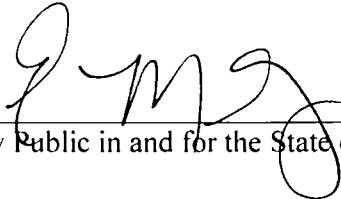
FURTHER AFFIANT SAYETH NOT.

A handwritten signature of Robert V. North in black ink.

Robert V. North  
Attorney and Agent-in-Fact  
Grayson Lakes Community Association, Inc.

SIGNED AND SWORN TO BEFORE ME, on this 20 day of September, 2021.



  
\_\_\_\_\_  
Notary Public in and for the State of Texas

**After Recording, Please Return To:**

NORTH LAW, P.C.  
1010 Lamar, Ste 1500  
Houston, TX 77002

**Amendment to Architectural and Aesthetic Guidelines**  
**for Single-Family Residences in Grayson Lakes**  
**Sections 3.11 Roofs and Rooftop Equipment and 4.17 Signage**

Effective Date: September 1, 2021

### **3.11 ROOFS AND ROOFTOP EQUIPMENT**

*August 2021 – Since the Architectural and Aesthetic Guidelines for Single-Family Residences in Grayson Lakes EXHIBIT "E" were originally published, roofing industry standards, such as material weight, warranty periods and hazards designs, have materially changed, rendered the original document obsolete. In response to industry changes, the revised version of the document presented below is intended to reflect contemporary standards as of the date of this revision. Adoption of these revisions replaces previous versions of this section.*

All buildings shall be roofed with composition shingles unless otherwise approved in writing by the Reviewer. All roofing materials must be approved by the Reviewer prior to installation. Wood shingles are specifically prohibited for safety reasons.

Tile roofs, or other roofing such as slate, concrete, or metal, will be limited use and must compliment the architecture and scale of the home. Roofing materials, other than fiberglass or asphalt shingles, must be approved by the Reviewer.

#### **"Standard" Shingle Materials**

All residential building and garages (whether attached or detached) must be roofed with laminate asphalt / fiberglass shingles. Shingles are to be of ultra-dimensional wood shake look. In all cases roofing materials (as well as color) must be approved by the Reviewer prior to installation. Published warranties must be in the range of 30 years to Lifetime and must provide Stain-guard / Algae resistance. Enhanced Hip and Ridge products are acceptable so long as they are of asphalt / fiberglass composition and match the color of the field of the roof.

#### **"Alternative" Shingles**

The Reviewer may consider approval of "Alternative Shingles" for the purposes of enhanced wind and hail resistance and/or improved heating and cooling efficiency provided that the following criteria are met:

The "Alternative Shingles"

1. Closely resemble shingles approved for use in the community.
2. Are of equal or superior quality and durability to shingles approved for use in the community.
3. Match the aesthetics of properties adjacent to or neighboring the property in question.

**\*\*Note that roofing manufactures listed below all offer Class 4 Impact Hail Resistant Shingles and "Cool" enhanced shingles that provide additional energy efficiencies as compared to traditional composition shingles.**

## **Installation**

Prior to re-roofing, all old materials must be completely removed from the roof down to the clean decking. Any damaged or deteriorated decking must be replaced. Shingles are to be overlapped at valleys so that no valley flashing is exposed. Ridge vents are encouraged (but not required) as they improve ventilation resulting in reduced attic temperatures and energy costs. Vent stacks and other necessary roof penetrations shall be located away from public view. When possible, roof penetrations must be located on the back side of the roof and shall not exceed the minimum code height. Skylights may not exceed three (3) feet by four (4) feet in size and shall be mounted on the side or back side of the roof so as not to be visible from the street. Skylights should be placed in locations such that they do not detract from the building elevations.

## **Examples**

The following manufacturers and products provide examples of conformance to the minimum approved standard:

**GAF Timberline Ultra HD**

**Owens Corning Oakridge**

**CertainTeed Landmark Tamko**

**Heritage**

The foregoing manufacturers all offer upgraded or premium products that meet the ultra-dimensional wood shake look required. Such products offer higher "weights" and longer warranties and while premium shingles are encouraged, approval is required by the Reviewer. It is incumbent on the homeowner to demonstrate that any alternatives being proposed are indeed equivalent to the examples shown.

## **Colors (Shingles)**

Approved shingle colors are gray tones generally referred to as Weatherwood or Driftwood. Dark brown, charcoal and black may be considered by the Reviewer under some circumstances but approval will be at the discretion of the Reviewer.

## **Colors (Gutters and Downspouts)**

Gutters and downspouts must be painted to match the fascia and siding of the structure.

## **Colors (Roof Protrusions)**

Roof protrusions such as vents and roof jacks must be painted to match the shingles.

## **General Appearance**

The roof, as an expressive design element, should be kept as visually unobstructed as possible. Mechanical and air conditioning equipment may not be mounted on the roof. Visible radio / television antennae, satellite dishes and radio towers attached to the roof are discouraged.

## Approval

**In all cases roofing material and color must be approved by the Reviewer prior to installation.** In the event that circumstances make replacement a **true** emergency, the application may be addressed immediately and urgently but under no circumstances should replacement be undertaken without submission of an application for replacement.

## Prohibited

Wood shingles are specifically prohibited for safety reasons. Three-tab shingles are prohibited except for use as a starter and / or cap row. Roof overlays are not permitted.

### Checklist\*\* "Standard" Shingles

Shingle Composition	Names of manufacturer and product normally suffices
Shingle color	Manufacturer name and illustration if appropriate
Stain guard	Manufacturer statement
Warranty	Manufacturer statement of 30 years to lifetime
Gutter Color	To match fascia and siding color
Protrusion color	To match shingle color
Prohibitions	Homeowner to review and confirm compliance

\*\*Checklists represent only a summary of critical requirements which must be addressed in any submission for installation or alteration. The full published "Architectural Guidelines" represent the definitive requirements which must be met in full.



#### 4.17 SIGNAGE

Signs shall not be placed so as to be visible from the outside of a dwelling on a lot with the exception of:

- One temporary "For Sale," "For Lease" or "For Rent" sign placed on the lot being advertised "For Sale," "For Lease" or "For Rent." The sign shall be limited to a maximum face area of five square feet on each visible side and, if freestanding, is mounted on a single or frame post. The overall height from finished grade at the spot of the sign may not exceed four feet. The sign must be removed within two working days following the closing of the property or the termination of the listing agreement.
- "Open House" signage placed in common areas and in front of the residence, should be removed after the open house engagement is complete.
- One small security service sign per house provided the sign has a maximum face area of two square feet and is located in landscape beds nearest the home.
- Temporary political signs, flags and/or banners on the exterior of a residence but comply with Texas Title 15 Section 259.002 and Fort Bend County requirements. Political advertising is permitted, on or after the 90th day before the date of the election to which the sign relates; but must be removed from the exterior of the residence before the 10th day after that election date. Runoff elections have the same restrictions - 90 days before and 10 days after the election for the display of political signage.
- School spirit signs are permitted with no more than one sign per child per residence, not to exceed four hundred and fifty (450) square inches (approximately 24" x 18").
- Temporary Trade Signs- Temporary trade signs are permitted for only the duration and 10 days after the service has been rendered. This includes but is not limited to contractors, landscapers, painters and roofers.
- Temporary Estate/Garage/Yard sale signs are only permitted through HOA function Estate/Garage/ Yard Sales events in the neighborhood. Advertising an event, for a period of (3) days prior to the event and signs must be removed within the following day of completion. This includes, but is not limited to, "Estate Sale", "Garage Sale", or "Yard Sale."

Such permits as may be required by legal proceedings. Such permits as may be required by governmental entity.

Residents shall be permitted to post "no soliciting" signs near or on the front door. Any such sign shall not exceed a size of twenty-five (25) square inches. Color of sign shall be as commercially available.