



— by —  
Newland COMMUNITIES

# ARCHITECTURAL DESIGN GUIDELINES

REVISED NOVEMBER 2016

---

# TABLE OF CONTENTS

Table of Contents	2
Community Vision	3
Community Guidelines	4
Desirable Architecture	5
Undesirable Architecture	6
Architectural Massing	7
Lot Setbacks	8
Plan Spacing and Repetition	9
Lot Conditions	10
Garages and Driveways	11-12
Paving and Hardscape	13-14
Exterior Lighting	15-16
Fencing	17-21
Landscape	22-33
Category Comparison	34-35
Classic Homes	36-39
Amenity Homes	40-43
Elyson Residential Review	44
Credits	45



## THE COMMUNITY VISION

**W**ith its location on the Katy Prairie and its roots in rural Texas tradition, Elyson is committed to embracing and conserving the natural environment while cultivating a diverse, engaged culture to enhance the daily life of the people living in the community.

Elyson will have an appropriate balance of passive and active amenities focused on the integration of the natural prairie environment and designed to meet the preferences of all generations. Elyson will feature a distinct community culture with flexible and appropriate programming that engages all generations both individually and as a whole with a focus on wellness and healthy living.

The community will incorporate a meaningful open space system that creates and enhances natural habitat areas and is integrated into every part of the community. A trail and linear park plan will connect into and among open spaces and encourage movement throughout the community. An intentional plan to bridge the north and south sides of 529 with pedestrian crossings, landscape and view corridors, amenity and school siting and home diversity will complete the community.



**T**he following document is not intended to limit the creativity of the Builder in their design or construction. This document is intended to provide a basis for design concepts and forms and materials that create a coherent, pleasant living environment for all residents.

The design of each residence should reflect acceptable building materials while fitting into the overall character of the community.

The Builder shall be responsible for individual site development and maintenance of the lot including the area within the public street ROW (between the back of the street curb and property lines) and the surrounding lots. Builders of corner lots shall be responsible for the ROW of both streets adjacent to the lot.

Each Builder is responsible for street cleaning and trash pickup on the adjoining lots and areas where homes are being constructed. Specifically, during the construction of the home each Builder shall:

1. Provide and use a container on each lot for trash and construction debris. Containers are to be emptied when full.
2. Repair damage on surrounding lots generally caused by delivery or construction traffic.

3. Clean all adjacent streets of mud, dirt, gravel, concrete and other material spills or deposits from the construction process.

4. Prevent damage to existing properties. All damage to existing properties associated with home construction shall be the responsibility of the Builder. Resident complaints shall be courteously addressed and resolved quickly.

5. Builders shall comply with the area Storm Water Pollution Prevention Plan. In order to maintain clean waterways and prevent siltation of drainage channels, all builders in Elyson are required to practice sediment control during construction. This includes, but is not limited to, the installation of silt fences on property lines. The sediment control system shall remain in place and in good repair until home construction and all lot landscaping is complete.

6. Provide one (1) single family lot during any construction for wash out of concrete trucks. This lot shall be clearly labeled by the Builder and regularly cleaned, maintained and mowed.

7. Provide a portable toilet that will be regularly inspected and maintained in a clean/pleasant condition by the Builder. The Builder will also provide suitable facilities for all inspectors and authorized

visitors to the site. Toilets with graffiti or that have become unsanitary shall be removed and replaced.

8. Never “borrow” utilities from neighboring residents without their written consent.

9. Avoid loud music and/or excessive non-construction related noise within Elyson that is offensive to residents, inspectors or visitors.

10. Obey and respect all local and state traffic laws. Builders shall practice safe construction loading of materials to the job site and be respectful of Elyson residents at all times. The speed limit is 25 miles per hour unless posted otherwise.

11. Construction hours are :

Monday through Friday, 6am-7pm and Saturday and Sunday, 8am-6pm.





# DESIRABLE ARCHITECTURE



This two story brick house has appropriate scale and detail for a shallower front yard with varied masonry details.



This home features a prominent porch with paired columns and the garage is set back from the main body of the house.



This home has simple massing with a painted stone exterior and a prominent portico entrance.



This one and half story house has very simple massing with appropriate scale and proper details for the contemporary design.



This two story masonry home has a prominent entry for the style with applied elements for shading from sun exposure.



This home has well detailed masonry openings with a prominent entrance and simple massing.



This tudor style stacked stone home features a corner porch and prominent entrance on a larger lot.



This contemporary tudor style home has an efficient garage arrangement with a prominent entrance and applied elements.



This craftsman style home has added eave detailing and well proportioned openings. The outdoor terraces help to capture outdoor space.

These architectural guidelines are intended to establish an acceptable and authentic level of design for the homes in Elyson.

In an effort to help distinguish the neighborhoods and offer homes that meet the diverse needs of today's buyers, Elyson will feature two classifications of homes – Classic and Amenity. Both classifications will be available on the majority of lot sizes. The purpose of the two classifications is to help value oriented buyers and buyers looking for a more amenitized home and neighborhood find a home that best suits their needs. These guidelines provide a detailed explanation of the defining characteristics of both classifications.

Variations on traditional style (see examples illustrated to the left) are acceptable if developed within the spirit of these guidelines. Architectural styles of a non-descript character are not appropriate.

All exterior elevation treatments require the approval of the Elyson Residential Reviewer (ERR).



# UNDESIRABLE ARCHITECTURE



Roof massing and eave at entrance are improperly detailed. Column and openings are improperly proportioned.



Paired windows are detailed improperly. Garage is more prominent in elevation of home.



Openings are too large for the home. Massing is too complex for the width of the front facade.

**A**ppropriate elevation design and composition should reflect the traditional styles prevalent within the central United States. This standard does not rely on simple historic reproduction. Instead, style pages and illustrated details included herein provide options to ensure consistent quality of character and detail at the homes at Elyson.

All exterior elevation treatments require approval from the Elyson Residential Reviewer.



Garage is most prominent in this home with dis-proportioned overall massing. Vent stacks are visible from the street.



This home has openings that are too vertical in proportion and roof massing that is the wrong proportion and detailing for the style of the home.



This home has very complex massing with many elements competing for attention.



Garage and driveway are too prominent in this elevation which makes the entrance to the home secondary. Garages located in front of the main body of the house are discouraged in the Amenity category.



This home has a very complex roof and overall massing. Two story entrance is dis-proportioned. Shutters are not sized correctly for the windows.



Garage on this home is the largest mass in the elevation. Shutters are not sized properly for the openings.



## DISCOURAGED



Window openings are too large and out of proportion for facade. This home has a complex massing where the gable elements are competing for importance.



This home design has a prominent garage forward of the main house. The proportions and openings for this home are too small for the overall massing.

## ENCOURAGED



This home design has a detached garage from main house facade. The entrance to the home is prominent. Exterior materials are detailed correctly with stone and brick details. Windows are proportioned correctly.



This home design has garage set back from main house. Entrance is prominent. Massing is more complex with some variation. This home has a good use of materials.

## MASSING, SCALE & PROPORTION

**H**omes will be designed to fit harmoniously into the landscape. Proper use of tried-and-true techniques shall be used to achieve this. The following are appropriate techniques:

- Two-story elements when used shall be the dominant form, with one-story elements to appear as wings added over time.
- Homes shall have at minimum one (1) dominant element/form with minor elements added on as appropriate to the style.
- Additive elements such as porches, dormers, chimneys and bay windows shall be designed to enhance the overall character of the home.
- Windows shall have an approximate 2 to 1 proportion (height to width) as appropriate to the style of the home. Muntins within transoms shall be vertical in proportion.
- Garages shall be designed as an integrated part of the overall composition of the home but shall not dominate the home as it is presented to the street.
- Roofs shall be composed to fit with the style of the home. Excessive pitch changes and roof sizes shall be kept to a minimum.
- Exterior materials shall be arranged vertically with masonry at the base of the home and the lighter materials above to include siding or stucco as designed for the specific style of the home.

DESIRABLE PLANNING:

Minimum building setback lines are established by the City of Houston’s Development Ordinance and are reflected on the recorded subdivision plat. The recorded plat should be referenced to determine the appropriate setback for specific building sites. If there is a discrepancy between these two documents, the document specifying the greater setback shall apply.

	Typ. Interior and Corner Lots
Front Setback	See Plat
Rear Setback	15’ min. setback
Side Setback	5’ min. setback
Corner Setback	See Plat

Note: Specific neighborhoods may have increased setbacks. Greenbelt and Lake Lots may have different setbacks. Refer to Neighborhood Diagram.



# PLAN SPACING AND REPETITION

If floor plans and/or elevations are the same within a particular neighborhood, they are to be placed in a random arrangement, so as to create the maximum amount of diversity possible.

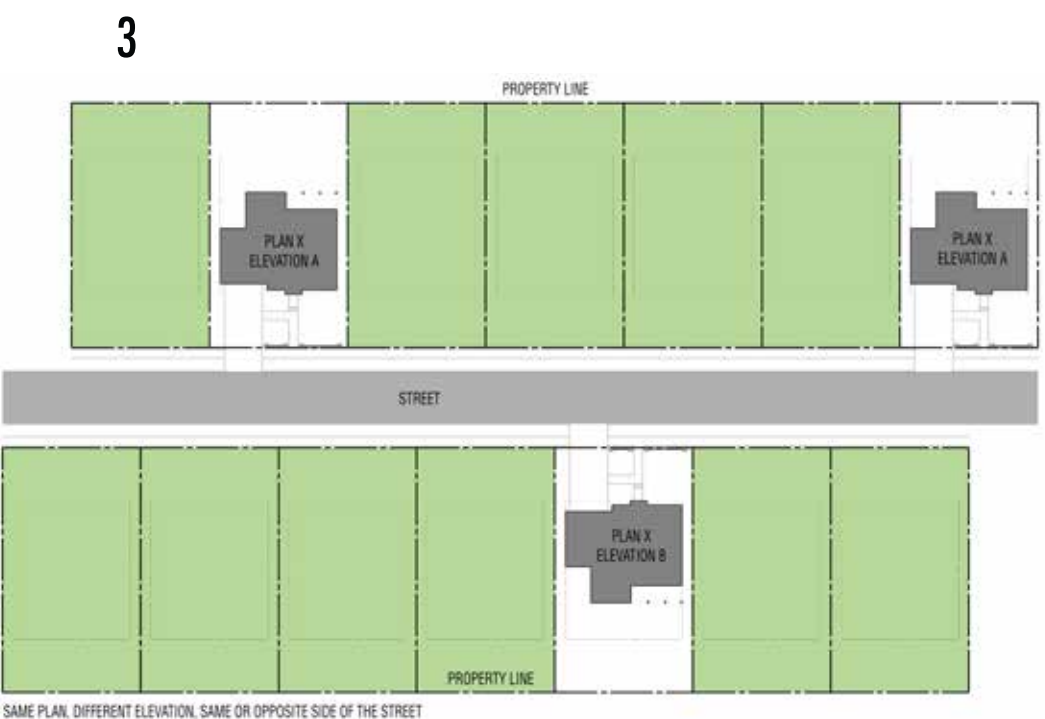
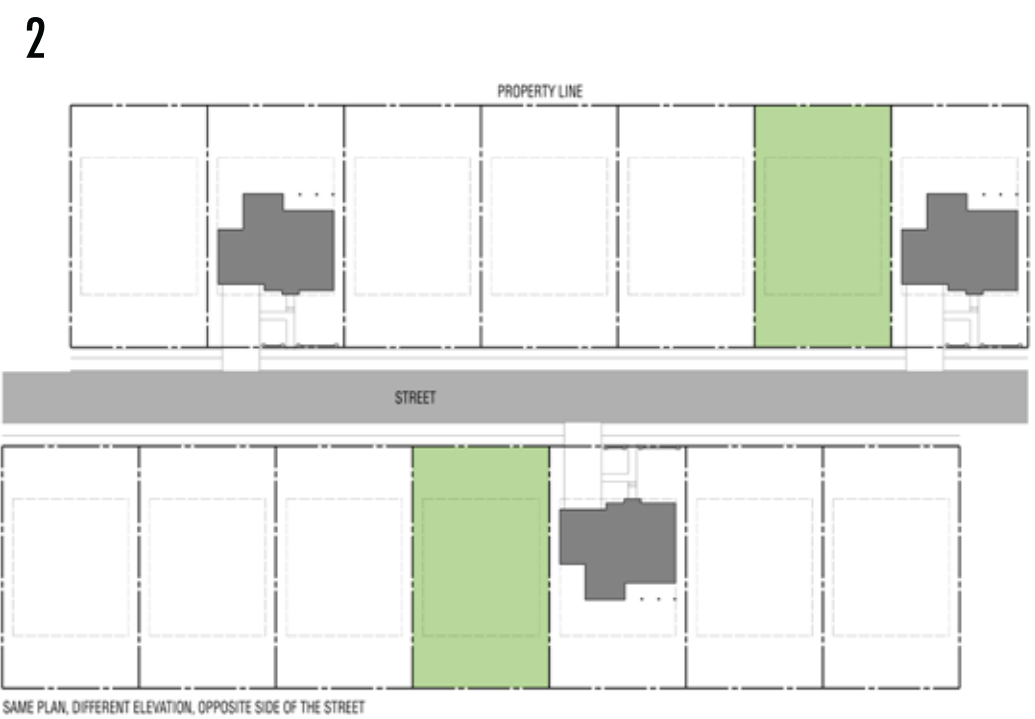
PRIOR TO CONSTRUCTION, THE ERR SHALL APPROVE ALL PLAN LOCATIONS.

To receive final ERR approval, the Builder may request to significantly vary individual features of homes with the same floor plan which are in the same proximity to one another. These variances include, but are not limited to, significant changes in roof massing and fenestration.

## DESIRABLE PLANNING:

**W**hen considering repetition of plans the following shall apply:

- 1. Same plan, different elevation, same side of street:** When building different elevations of the same plan on the same side of the street, a minimum of two (2) full lots shall be skipped before repeating the same plan with a different elevation.
- 2. Same plan, different elevation, opposite side of street:** When building different elevations of the same plan on the opposite side of the street, a minimum of one (1) entire lot must be skipped before repeating the same plan with a different elevation.
- 3. Same plan, same elevation, same or opposite side of street:** When building same or similar elevations of the same plan on same or opposite side of the street, four (4) entire lots must be skipped before repeating the same elevation, and a different palette of materials/colors shall be used.



## LOT GRADING

**H**omes in Elyson for both Classic and Amenity categories shall have graded lots in general conformance to the grades shown on the grading plan and ensure a minimum one percent (1%) slope back to front on category-A lots.

Positive drainage away from the building should be provided for rainfall, irrigation, air conditioner condensate and all other categories of water runoff.

Caution should be used in establishing the foundation elevation so that driveways, slabs or insufficient fall does not impair adequate drainage of the lot. Ultimately, it is the responsibility of the Builder to provide positive drainage for each lot.

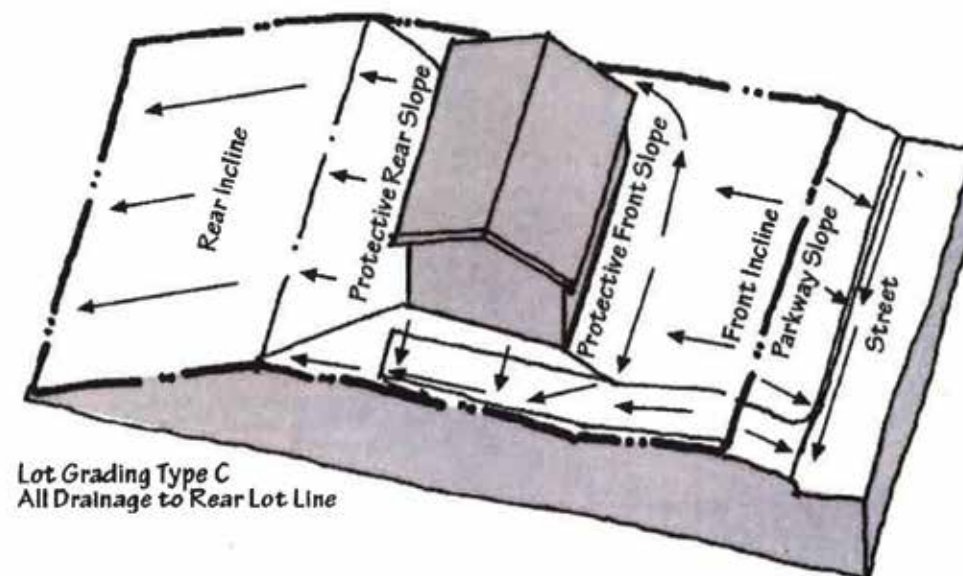
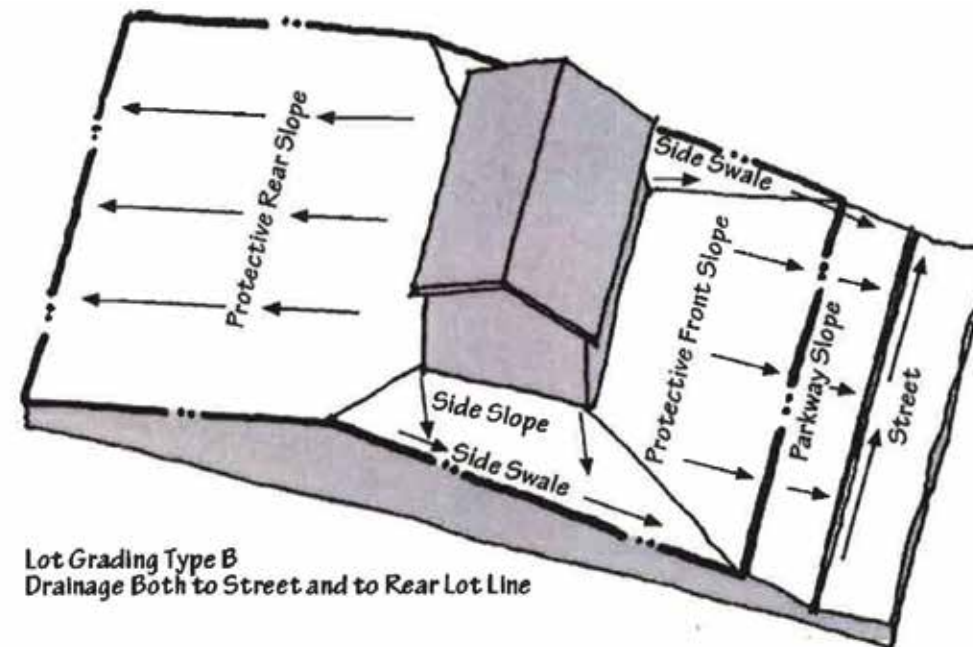
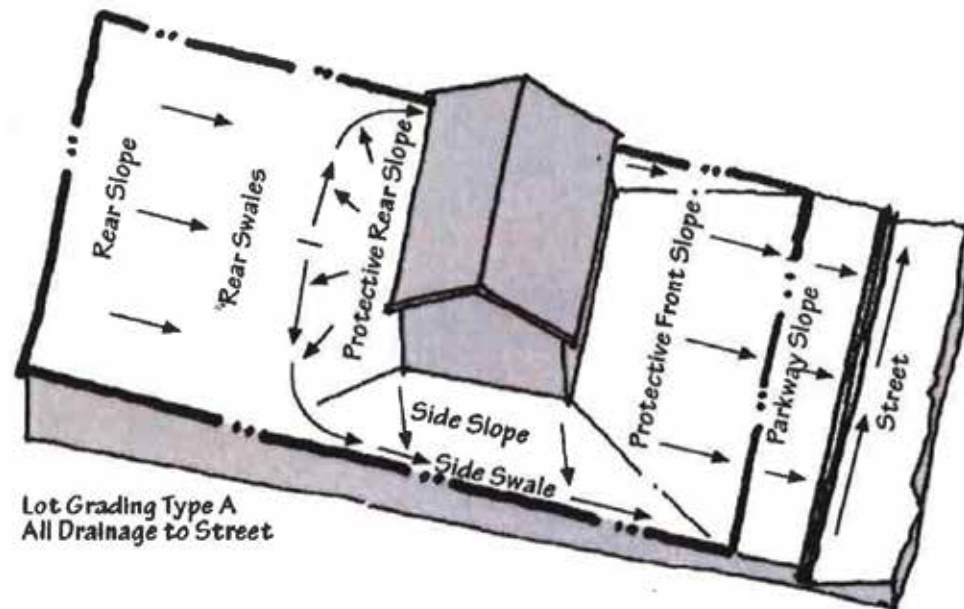
All water runoff and drainage must go to the front of the lot. No drains shall extend to adjacent properties including reserves, parks, secondary streets, etc.

**FHA category “A” lot grading:** Category A lots have a ridge along the rear lot line, and each lot is graded to drain water directly to the street independent of other properties. Side swales must be used to ensure that water does not flow on to adjacent properties or landscape reserves.

The majority of the lots within Elyson will have category “A” grading.

**FHA category “B” lot grading:** Category B lots have a ridge at the mid point from the fronting street and is graded to drain storm water in the front half of the lot directly to the street independent of other properties. The rear half of the lot shall drain storm water to the rear of the lot.

**FHA category “C” lot grading:** Category C lots have storm water draining to the rear of the lot. Storm water that falls on the ROW between the curb and the property line shall drain to the street.





## DESIRABLE PLANNING:

**H**omes in Elyson for both Classic and Amenity categories shall have varied garage orientations to minimize and diversify their presence on the street.

The placement and design of garages and driveways has a significant impact on the overall street scene and character of Elyson. Recessed garages are preferred, providing a street scene with an emphasis on homes rather than cars. Care should be taken to keep the garage in a proportionate scale to the residence. Detached garages are encouraged.

Homes in Elyson are required to have a minimum two car garage. Homes with a three car garage may not have a garage area that encompasses more than 45% of the width of the front elevation of a one story home. Three car garages are encouraged to be tandem garages or split garages with one side load garage bay.

Under the Classic Category, front load garages are encouraged to be recessed five feet behind the front elevation of the main body of the house and can be set forward no more than five feet. Under the Amenity Category, front load garages are encouraged to be set back a minimum of three feet from the primary front facade.

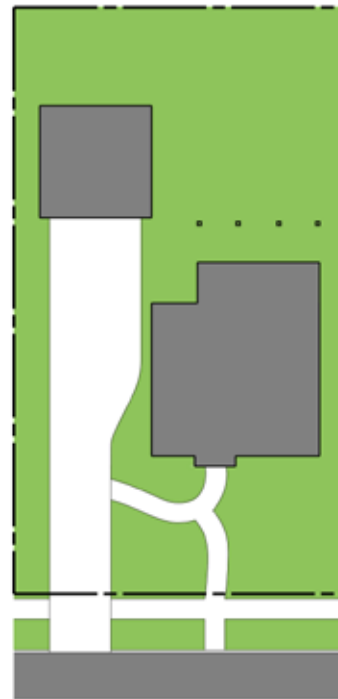
Homes in Elyson in the Amenity Category with circular drives shall have garden walls to screen the front yard driveways. Circular driveways shall not be wider than twelve feet (12'). Driveway aprons at the street ROW (right of way) shall be narrowed to twelve feet (12') to minimize paving in the front yard when circular driveways are applied.

Standard two car garages are to have a driveway that is eighteen foot (18') wide maximum at the garage and narrows to sixteen feet (16') at street ROW. Three car garages are to have a driveway that narrows to sixteen feet (16') at street ROW. All driveways shall be widened at the street with turn-outs.

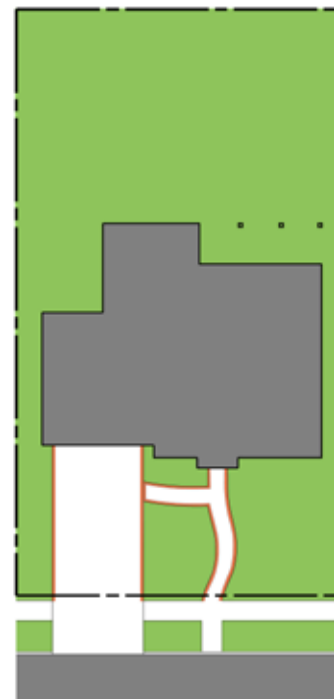
Sidyard setbacks on driveways are to be minimum two feet (2') from the property line. Detached garages shall have a five foot (5') side and rear setback.



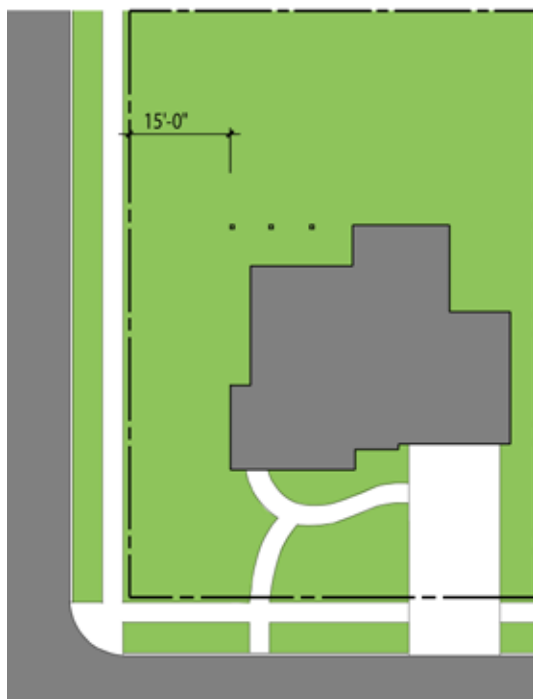
**CORNER LOT - FRONT YARD LEADWALK  
SIDE GARAGE - TWO CARS**



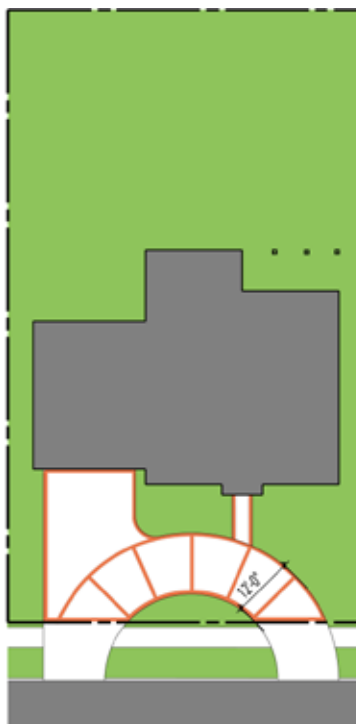
**FRONT YARD LEADWALK  
DETACHED GARAGE - TWO CARS**



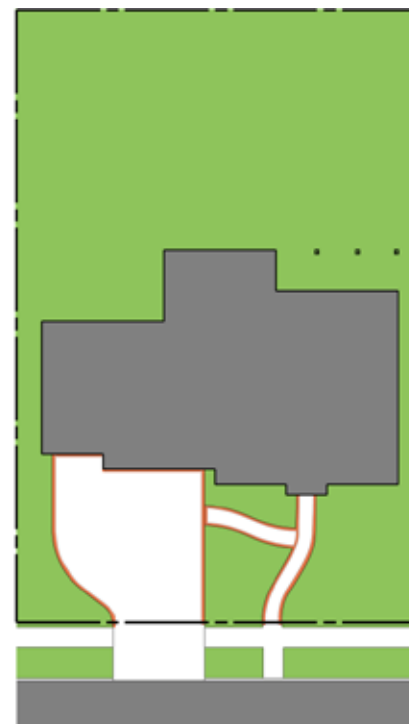
**FRONT YARD LEADWALK  
FRONT GARAGE - TWO CARS**



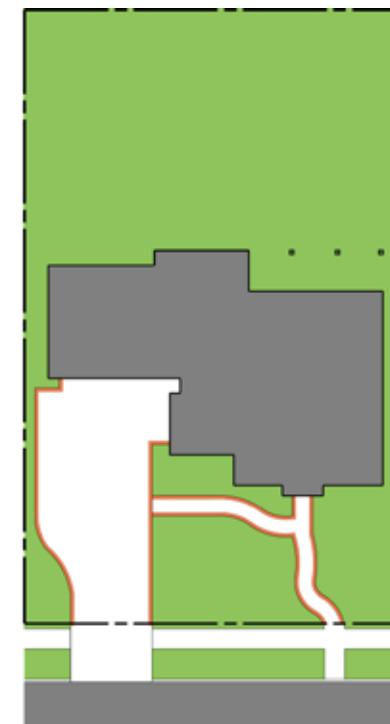
**CORNER LOT - FRONT YARD  
FRONT GARAGE - TWO CARS**



**CIRCULAR DRIVEWAY  
FRONT GARAGE - TWO CARS**

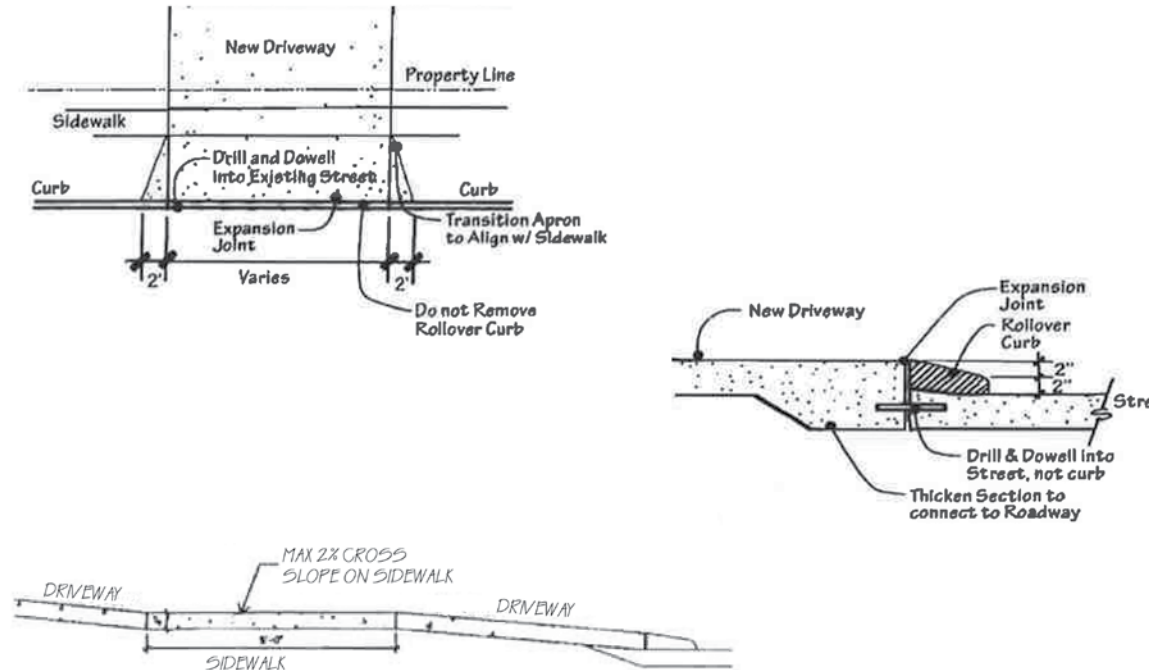


**FRONT YARD LEADWALK  
FRONT GARAGE - THREE CARS**



**FRONT YARD LEADWALK  
SPLIT GARAGE - THREE CARS**

# GARAGES AND DRIVEWAYS



## DESIRABLE PAVING:

The concrete portion of the driveway is to be a minimum of 4" thick, reinforced with either rebar or welded wire mesh and constructed to applicable standards. The County requires that all concrete within the ROW be reinforced with steel (min. #4 rebar at 24" O.C.).

Expansion joints between the curb and driveway are to be 1/2" redwood or pressure treated pine. Driveways are to abut rollover curbs with thickened section to attach to street.

In the Classic Category, pavers are prohibited.

In the Amenity Category, the driveway shall have rowlock concrete or brick paver at outside borders of driveway material and must be set on a brick ledge. Pavers are not required beyond the sidewalk within the ROW.

In the Amenity Category, accent pavers shall be used at the edges of the driveway and leadwalks behind the sidewalk. Paver material color shall be in keeping with house design color palette.

In the Amenity Category, circular driveways (Exhibit 1) are encouraged to have decorative pavers or stamped concrete as the primary material. Circular driveways are required to have pavers to start immediately behind ROW line and then every twenty feet and at transition of leadwalks. The ERR will review all paving layouts prior to installation.

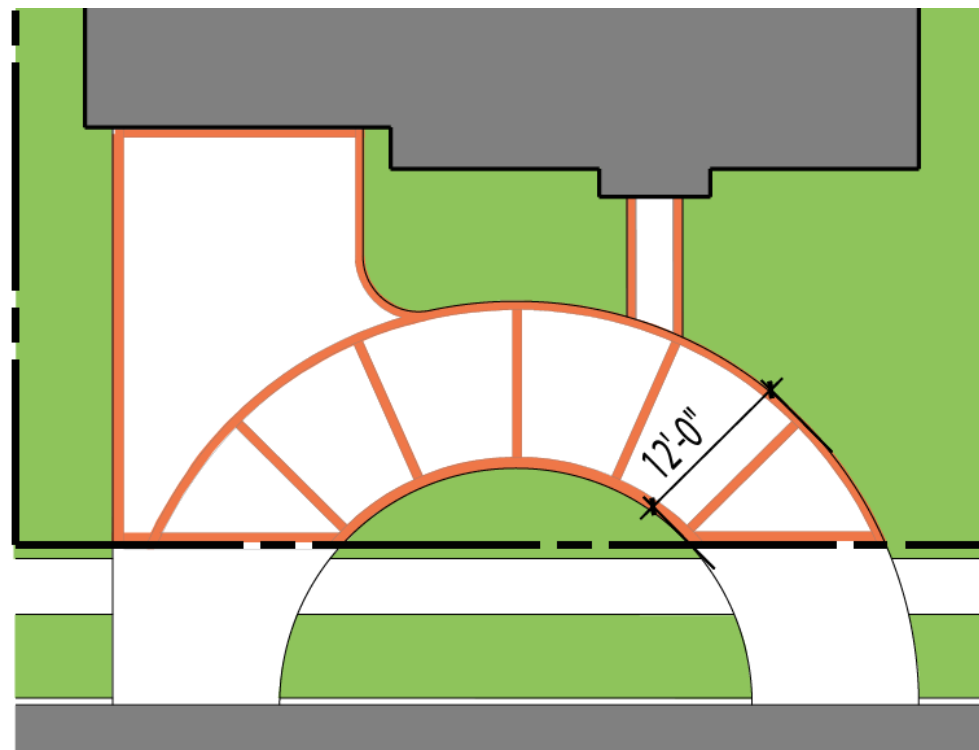


EXHIBIT 1 - AMENITY CATEGORY- CIRCULAR DRIVEWAY  
FRONT GARAGE- TWO CARS

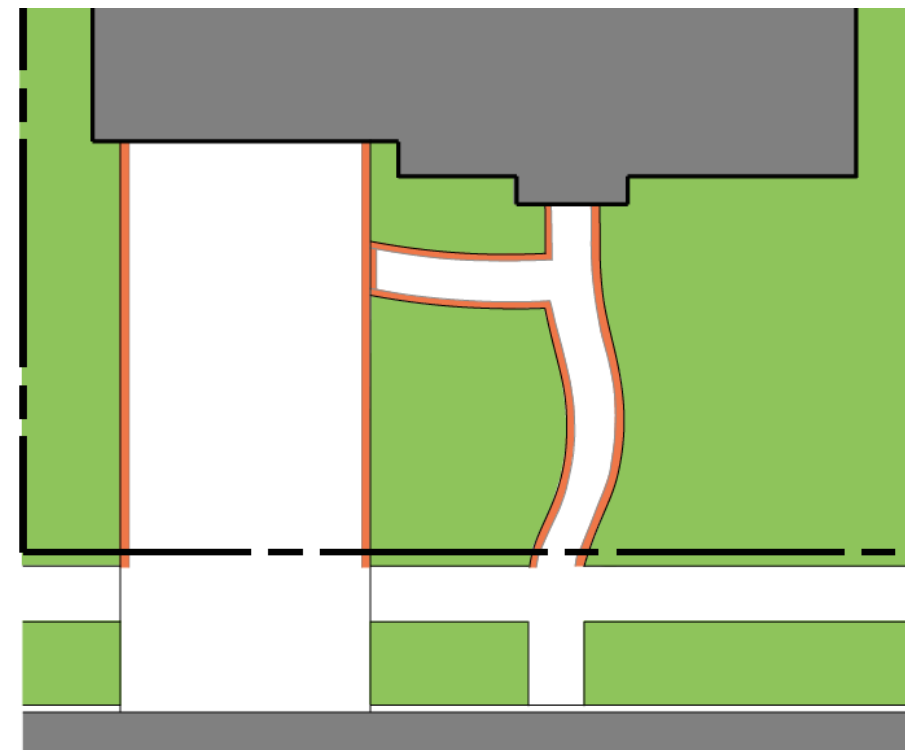
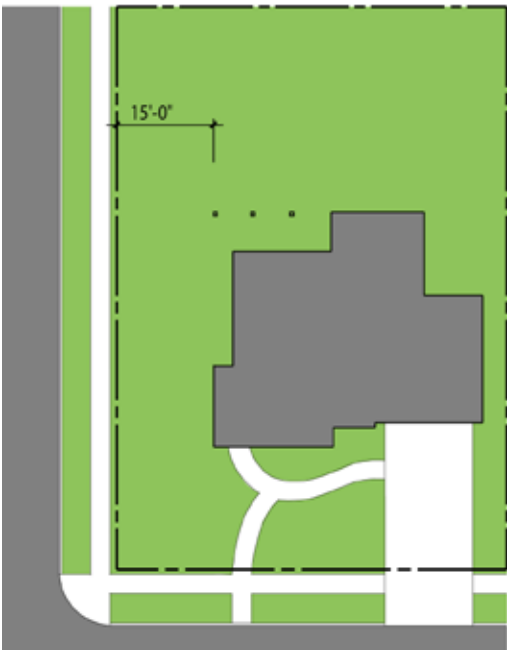


EXHIBIT 2 - AMENITY CATEGORY- FRONT YARD LEADWALK  
FRONT GARAGE- TWO CARS

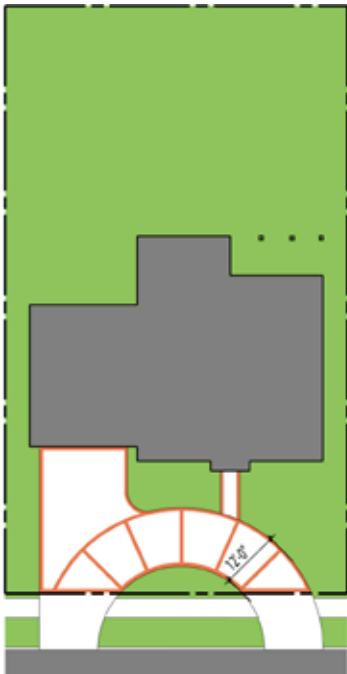


LEADWALKS AND WALLS

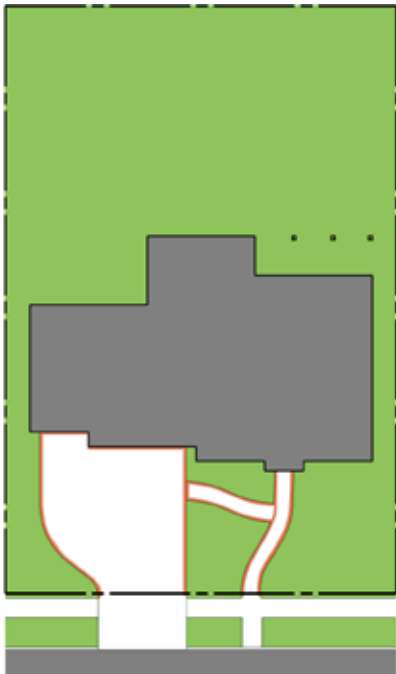
- Leadwalks are encouraged to be offset or meander on the lot as site conditions allow and shall connect to streets at a minimum and driveways whenever possible.
- Under the Amenity Category, concrete leadwalks from the street shall have a medium broom finish with concrete or brick paver edging. Pavers shall be set on a brick ledge. Paver material color shall be keeping with the house design color palette. Natural stone leadwalks are encouraged or precast concrete which is cut into smaller sections to appear as cut stone.
- Classic Category homes shall have three foot (3') wide leadwalks with a medium broom finish; Amenity Category homes shall have a four foot (4') wide walk to include brick or concrete pavers at the edges.
- Retaining walls shall be natural stone in ashlar coursing pattern, brick or concrete masonry with split face finish complementing the home exterior materials.
- Walls are typically 18-24 inches in height and one wythe of stone or brick thick; when stone veneer is used, a thickness of 8-12 inches is typical depending on materials used. Builder is required to submit plans for ERR approval.



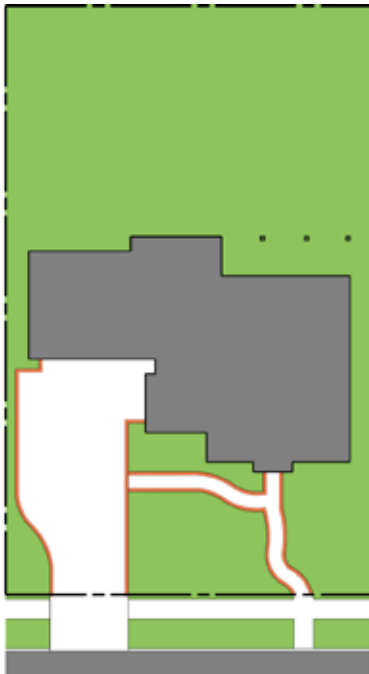
CLASSIC CATEGORY- CORNER LOT  
FRONT GARAGE- TWO CARS



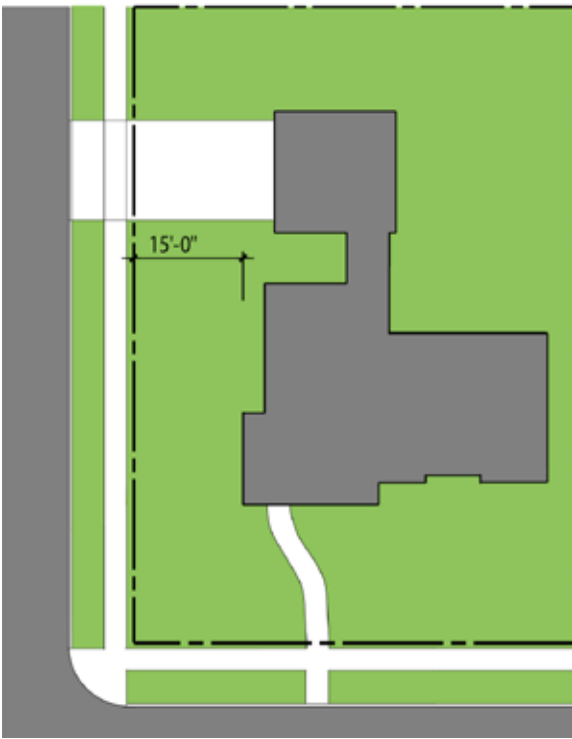
AMENITY CATEGORY- CIRCULAR DRIVEWAY  
FRONT GARAGE- TWO CARS



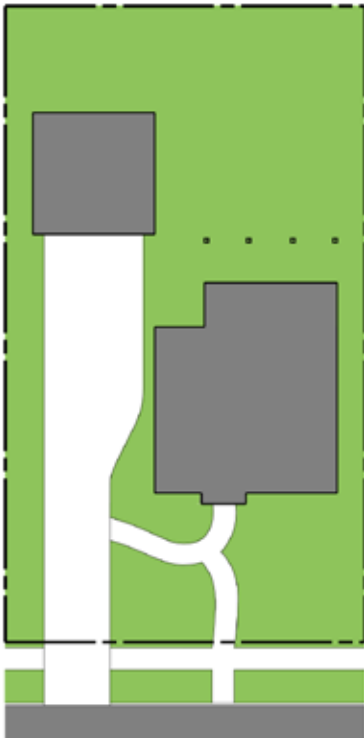
AMENITY CATEGORY-  
FRONT GARAGE- THREE CARS



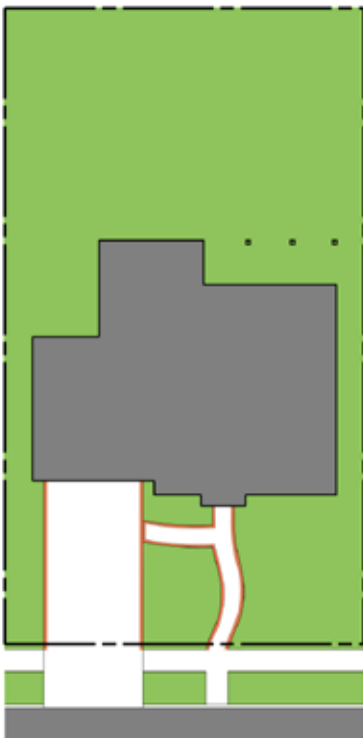
AMENITY CATEGORY-  
SPLIT GARAGE- THREE CARS



CLASSIC CATEGORY- CORNER LOT-  
SIDE GARAGE- TWO CARS



CLASSIC CATEGORY-  
DETACHED GARAGE- TWO CARS



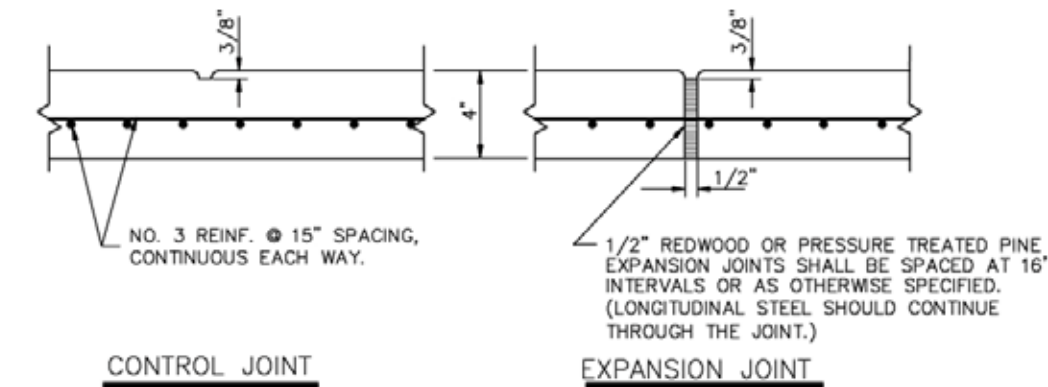
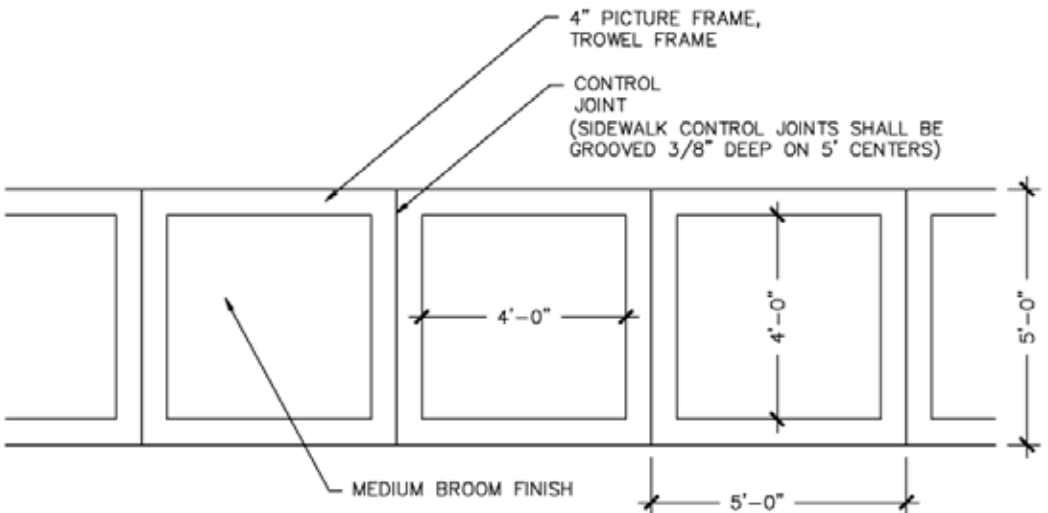
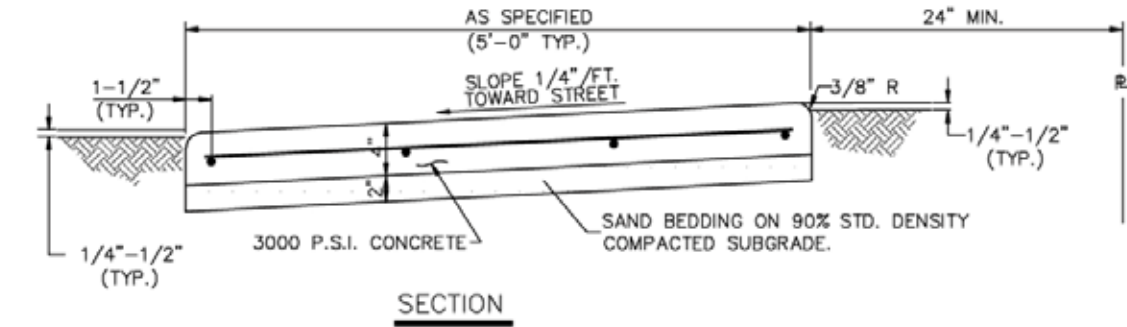
AMENITY CATEGORY-  
FRONT GARAGE- TWO CARS

SIDEWALKS



Amenity Category leadwalk in concrete with brick paver edging.

- NOTES:
- 1. ALL EDGES SHALL BE ROUNDED WITH 3/8" RADIUS.
  - 2. CONTROL JOINTS SHALL BE SPACED AT 5'-0" INTERVALS.
  - 3. CONTROL JOINTS SHALL BE 3/8" DEEP AND TROWEL EDGE.
  - 4. 1/2" EXPANSION MATERIAL REQUIRED WHERE SIDEWALKS ABUT BUILDINGS, CURBS, DRIVEWAYS, OR EXISTING SIDEWALKS.
  - 5. EXPANSION JOINTS SHALL BE SPACED AT 20 FT. INTERVALS TYPICALLY.
  - 6. WHERE NEW SIDEWALK IS PLACED AGAINST EXISTING SIDEWALK, SAWCUT EXISTING SIDEWALK TO AN EVEN STRAIGHT LINE PRIOR TO INSTALLATION OF THE NEW SIDEWALK.



NOTE: FOR ILLUSTRATION PURPOSES ONLY.  
REFER TO CONSTRUCTION PLANS FOR  
COMPLETE DETAILS AND SPECIFICATIONS.

- Builders are required to construct a sidewalk, parallel to the street, from side property line to side property line. Corner lots require the construction of a sidewalk on the side of the lot parallel to the side street.
- Public sidewalks shall be five feet (5') in width and constructed in a consistent manner producing a uniform appearance. All sidewalks must meet or exceed (1) County requirements and (2) the standards defined by the Americans with Disabilities Act (ADA). All sidewalks are required to be reinforced with either rebar or welded wire mesh.
- Sidewalks should be located two feet (2') in from the ROW line, except on cul-de-sacs, where they should be located at the ROW line. The location of sidewalks is not to be varied except where required to avoid specimen trees or fire hydrants. Gentle radii, instead of abrupt curves and angles, are required for all transitions.
- Control joints should occur, at a minimum, every five feet (5') O.C. Expansion joints shall occur, at a minimum, every twenty feet (20') O.C. and at property lines. No cold joints are permitted. Complete pours between expansion joints are required. Drill dowels into existing concrete curbs and driveways and use expansion joints at connections of existing and new concrete. Dowels are to be stubbed out where sidewalks are to be continued in the future.
- Where sidewalks cross driveways with decorative paving, the standard sidewalk designs should not be carried through the driveway. However, expansion joints must still define the sidewalk as it crosses the driveway. Care should be taken to ensure that the cross slope (max. 2%) of the sidewalk remains consistent across the driveway.
- Manholes and valve boxes located within the sidewalks shall be flush with concrete paving. Manhole and valve box adjustments may be required and are the responsibility of the Builder to coordinate with the county, municipality or municipal utility district.



PROHIBITED

These homes all have exterior lighting which is too large for the application and not the correct fixture for accent lighting of homes. Exterior lighting shall be appropriately sized for the specific location and architectural style while being respectful of neighbors.



ENCOURAGED

These homes all have exterior lighting which is scaled for the application. Uplighting and wall applied fixtures are shown correctly. This exterior lighting application is respectful of adjacent neighbors.



**E**xterior residential lighting shall convey a warm, inviting atmosphere and aid in providing night time ambiance without annoying others. Selection and placement of fixtures, and selection of light source categories, should be done with care. Exterior illumination of architectural features such as columns, entries, chimneys and landscape features is encouraged.

Light should be directed to illuminate house numbers. Ground lighting or decorative light fixtures are encouraged. Decorative fixtures shall be of high quality materials and workmanship and be in scale and style with the home.

High pressure sodium lights, except for subdivision street lights, are not permitted. Mercury vapor security lights, when the fixture is visible from public view or from other lots, are not permitted. Mercury vapor lights, when used for special landscape lighting effect, (hung in trees as up and down lights) are permissible with ERR approval.

Colored lenses on low voltage lights, colored light bulbs and neon lighting are not permitted.

Incandescent, low voltage incandescent, LED, metal halide, quartz and natural gas lights are permitted.

Exterior lighting shall be installed in a manner that is not unsightly and the cause of unnecessary light pollution, distraction or nuisance.

## PROHIBITED



Exterior lighting shall be appropriately sized for the specific location and architectural style. As constructed, light fixtures are too small.



Exterior lighting shall be appropriately sized for the specific location and architectural style. As constructed, light fixtures are too small.

**E**xterior lighting (which must be approved by the ERR as part of the building plans and specifications) must be limited to areas within the building envelope (unless otherwise approved in writing by the ERR), must not result in excessive glare and must not interfere with the privacy of nearby dwellings, all as determined by the ERR in its sole discretion.

- Landscape lighting is encouraged (plans must be approved by the ERR) and shall be designed, installed and operated to enhance the architecture of the home and landscape improvements in a tasteful and subtle manner.
- Over-lighting the house and/or significant front yard landscaping will not be approved.
- Landscape lighting shall be confined to the Owner's Lot only, and no direct illumination from such landscape lighting shall encroach beyond the boundaries of the Owner's Lot.
- All exterior lighting fixtures shall be detailed, sized and proportioned appropriately for the architectural style of the home. Light fixtures that are too small or too large in relation to the scale of the home are prohibited.
- Porticos shall be down lighted from within the interior space.
- Classic Category homes shall have one light located at the garage. Amenity Category homes shall have two lights at the garage.



## FENCING GENERAL REQUIREMENTS

### 1. FENCING GENERAL REQUIREMENTS

The Master Developer will provide a Neighborhood Diagram for each subdivision for Builder or Owner to reference. Builder or Owner shall refer to the Neighborhood Diagram for fence material on each lot. The Master Developer may build fences adjacent to common exterior landscape reserves that are in high traffic areas. Builder or Owner shall be responsible for installing fences on single family lots where they adjoin other single family lots, residential street rights of way, greenbelts and/or amenity lakes, except where specifically stated otherwise and in conformance with the standards adopted for each lot type.

- Fences shall be installed on the property line.
- A minimum front fence setback of 10 feet and a maximum of 20 feet from the front face of the house is required, unless there are conflicts with windows or other architectural elements. Side yard fences shall be coordinated to avoid offsets with the fencing on the adjacent lots. (See Exhibit F.01)
- When fences of differing heights or materials abut, the tie-ins must be in compliance with accepted fencing standards.
- All wood fences are to be constructed with #1 Cedar 1x6 pickets and #2 treated Cedar, and/or Southern Yellow Pine posts and three rails in accordance with the specifications.
- One single-sided hinged gate with latch shall be installed in the most appropriate side yard.
- All materials should be pressure treated if not cedar.
- Used material, Pine or Rightwood pickets are not allowed.
- Fences are to be kept in good repair.

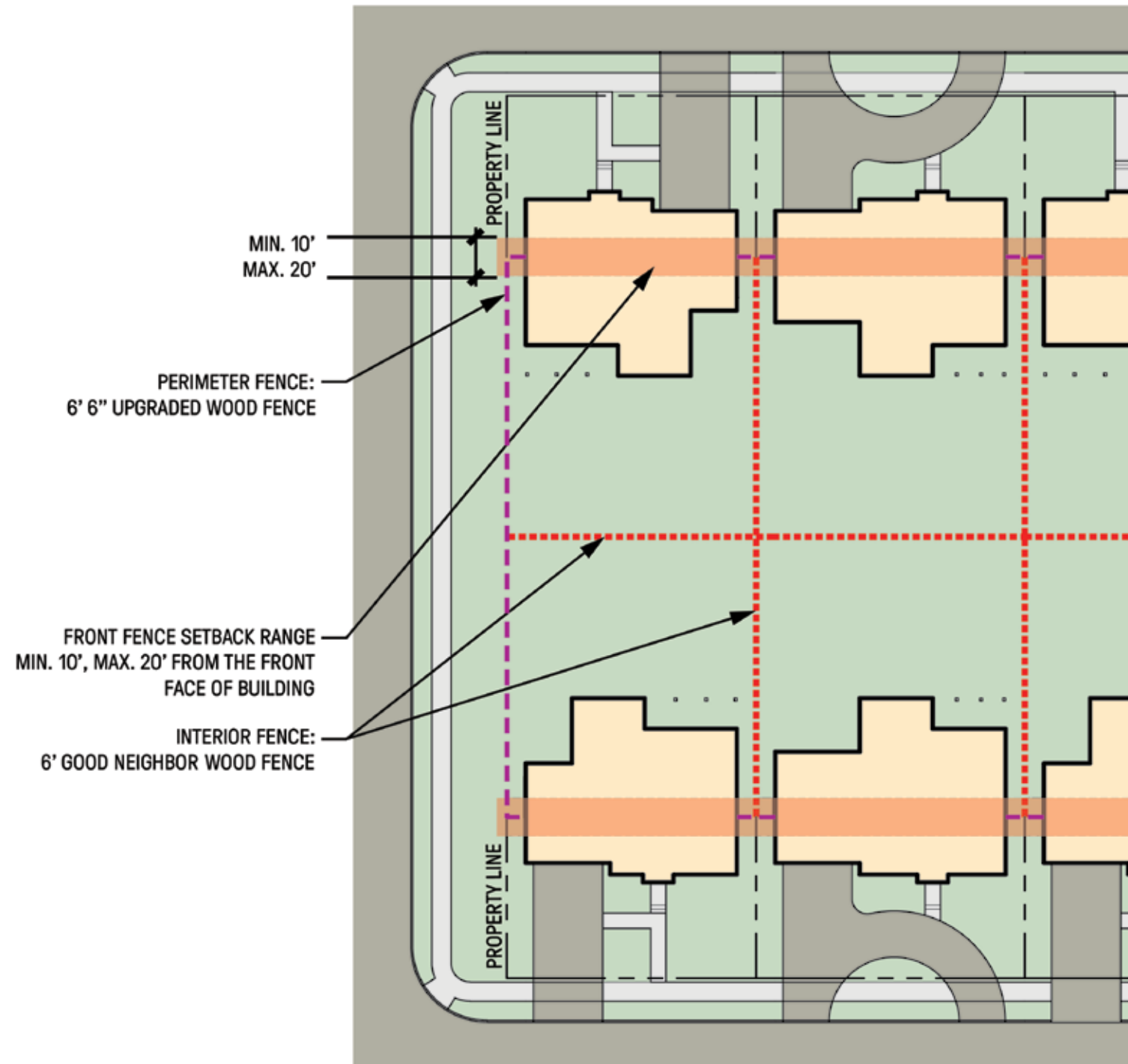


Exhibit F.01 FRONT, SIDE AND INTERIOR FENCE GENERAL REQUIREMENTS

## TYPICAL PERIMETER FENCING

### 1. PERIMETER WOOD FENCING REQUIREMENTS

- Any fence that is visible from the street is perimeter wood fence and shall be constructed with quality materials as specified on the Exhibits. See Exhibit F.02.
- Any perimeter wood fence on all lots shall be an upgraded wood fence with rot board and cap and should be treated with quality materials as specified on Exhibit F.02 on this page.
- All perimeter wood fences are required to be stained with the Developer approved stain color (Sherwin-Williams, #SW3513, "Spice Chest", Semi-transparent). To maintain a consistent fence appearance, stain shall be sprayed on to wood members. No stain shall be applied by rollers or brushes. Any other painting, use of color sealants or staining of fences is prohibited.
- One 3-foot pedestrian gate is allowed in rear fence when adjacent to trail or other identified landscape amenity but will require the approval of the ERR. Gates are prohibited adjacent to commercial areas, schools and non residential development.
- All perimeter fences shall have the finished side out.
- All material should be pressure treated if not Cedar.

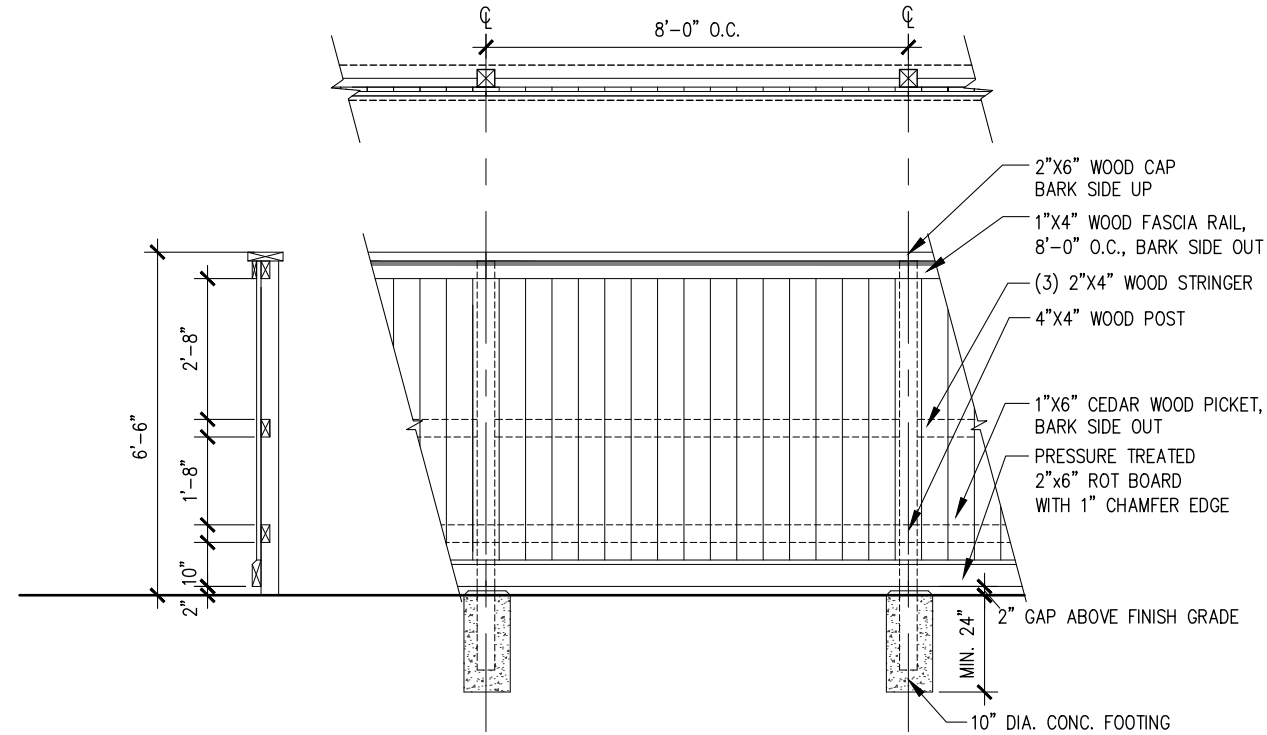


Exhibit F.02 FENCE TYPE B - UPGRADED WOOD FENCE FOR ALL PERIMETER FENCING



## TYPICAL PERIMETER FENCING

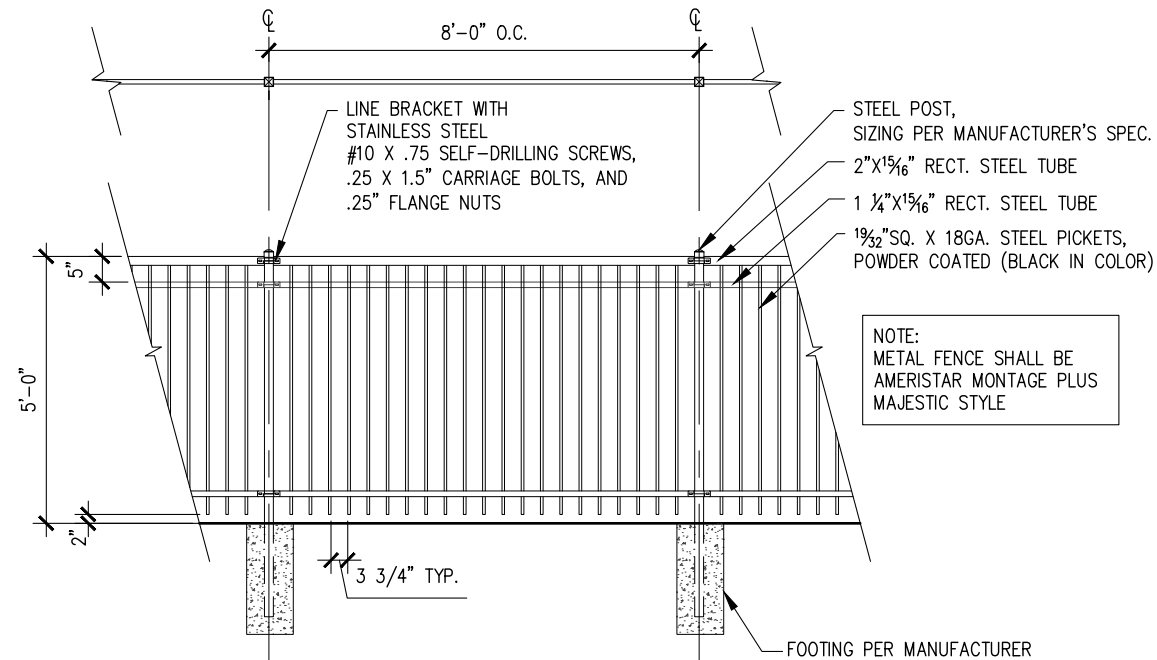


Exhibit F.03 FENCE TYPE C - METAL FENCE

### 2. TYPICAL LAKE LOTS METAL FENCE

- Metal tubular fencing is required at rear property line on lots adjacent to lakes or other identified landscape amenity. The metal fence shall be 5 feet in height and be set 2 inches from natural ground. See Exhibit F.03 and the Neighborhood Diagram.
- Property lines not exposed to a lake shall be fenced with the typical good neighbor wood fences. See Exhibit F.04 on this page.
- Tubular metal fences shall be Ameristar Montage Plus Majestic, powder coated (black in color) and require concrete footings.
- Metal fences may step up or down to account for grade changes. The maximum change per step is 6 inches.
- One 3-foot pedestrian gate is allowed in rear fences adjacent to lakes with walking trails but will require the approval of the ERR.

### 3. TYPICAL CORNER LOT FENCING

- On corner lots, a minimum side fence setback of 5 feet from the right of way is required to allow for Builder or Owner installed landscape buffer.
- The fencing located on the exterior side of the lot (side abutting the street) must be a Perimeter Wood Fence. See Exhibit F.02. Fences visible to public view shall be installed with the finished side out.
- In some locations, the side fence on corner lots may be a brick fence or a concrete fence by the Developer. See Neighborhood Diagram.

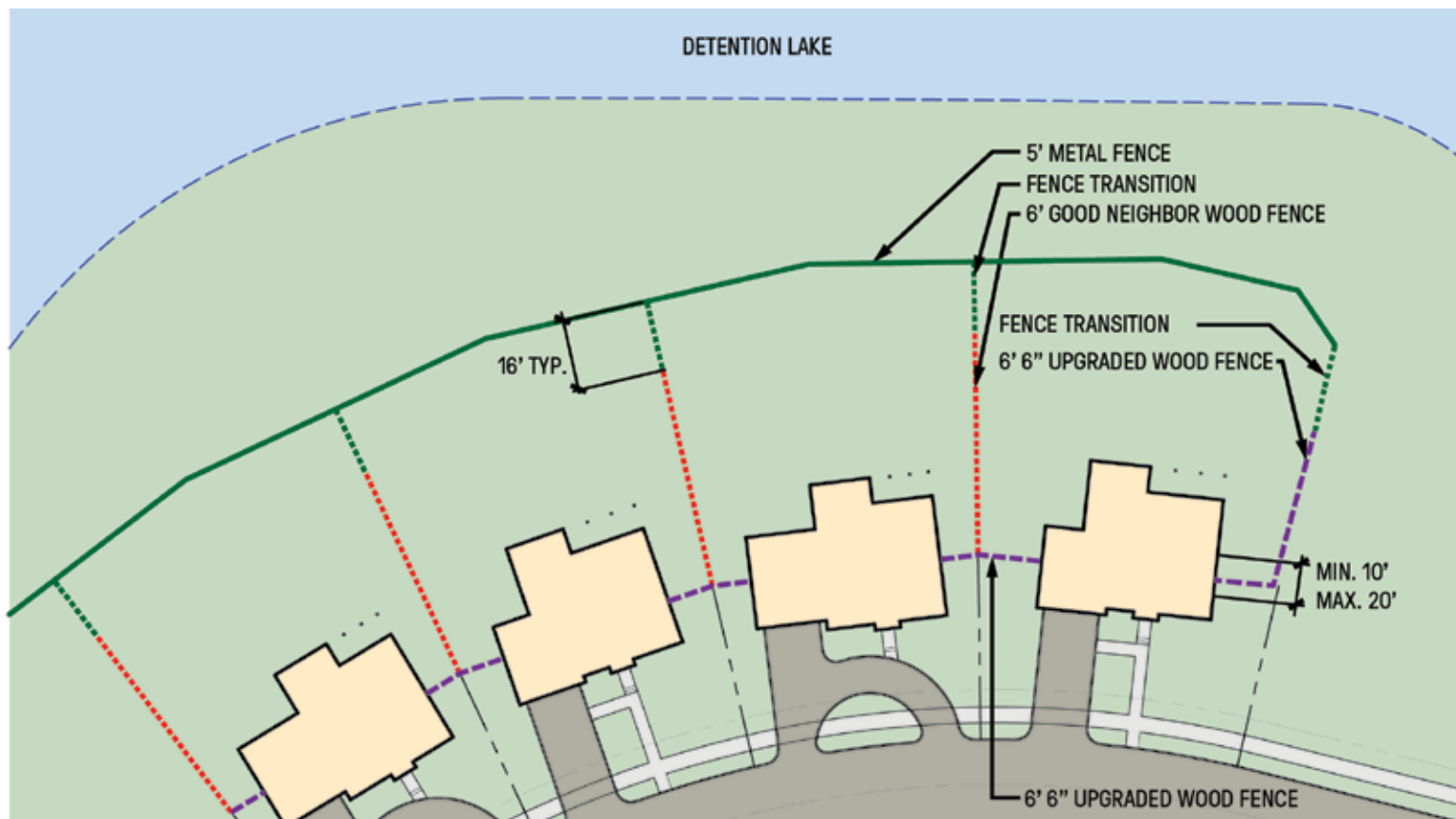


Exhibit F.04 LAKE VIEW LOT GENERAL FENCING REQUIREMENTS

TYPICAL FENCE TRANSITION

- The rear yard metal fence may transition to a side yard wood fence that encloses the remainder of the back yard. In those instances where a wood fence ties into a 5’ metal fence at the corner of a lot, two 8’ wide transition metal panels (A and B on Exhibit F.05 and F.06) are required along side yard. See Exhibit F.05 and F.06.

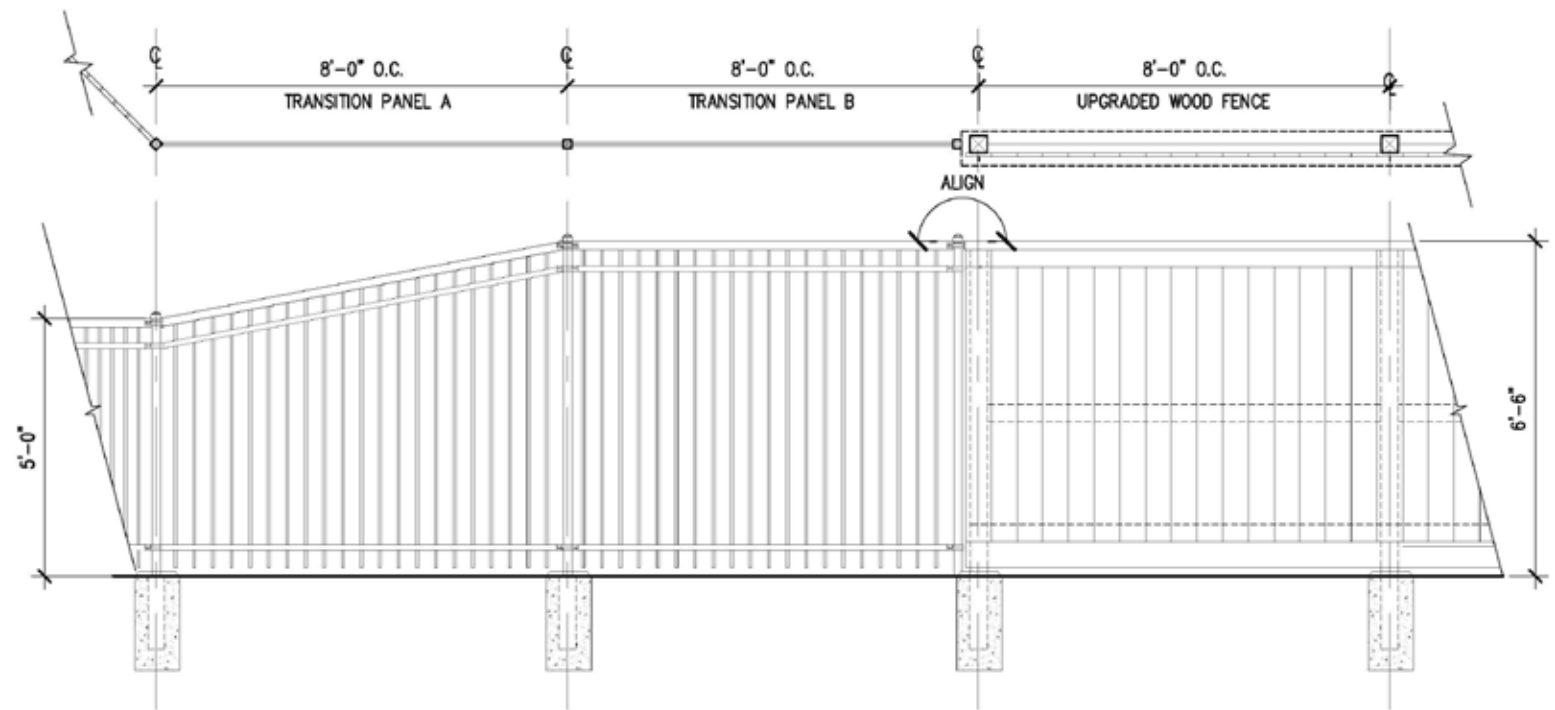


Exhibit F.05 METAL FENCE TO UPGRADED WOOD FENCE TRANSITION

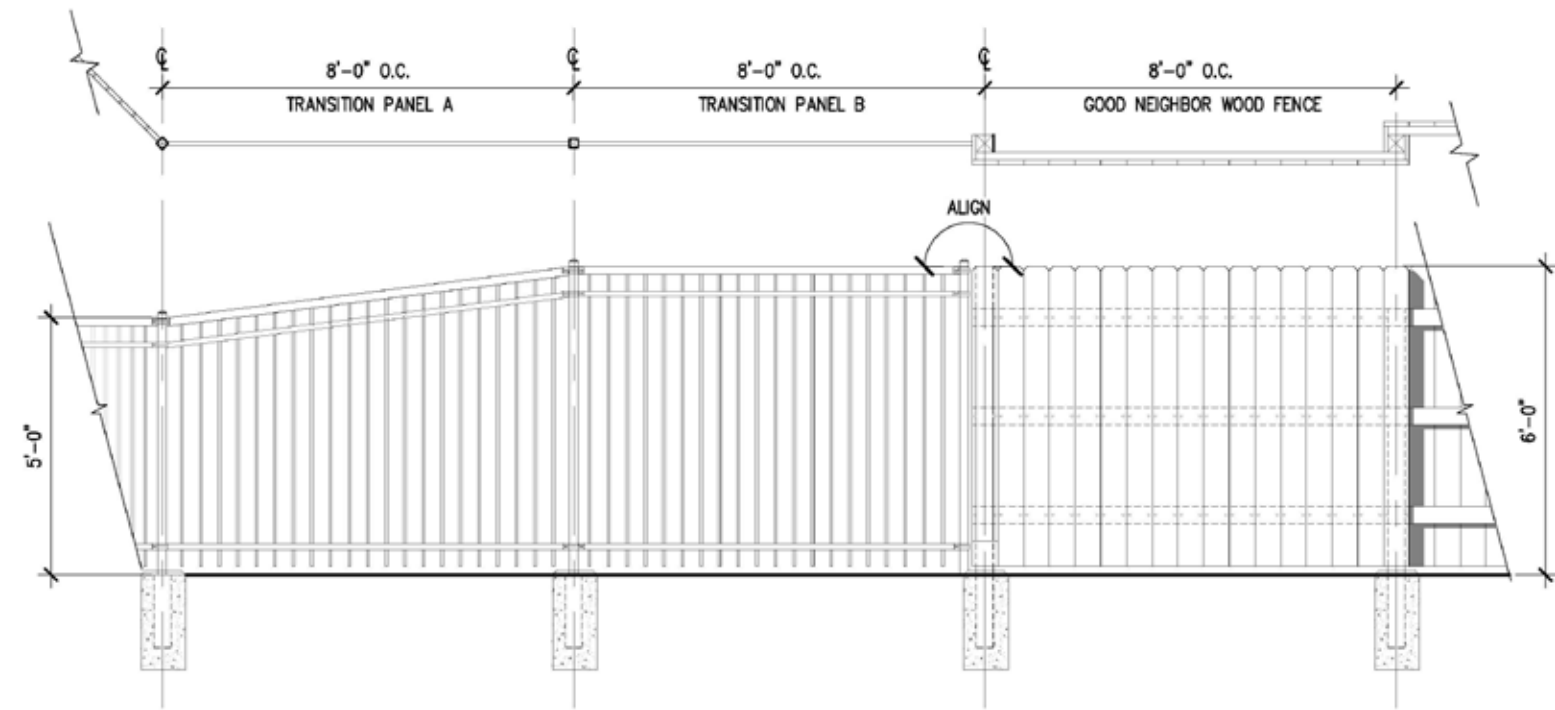
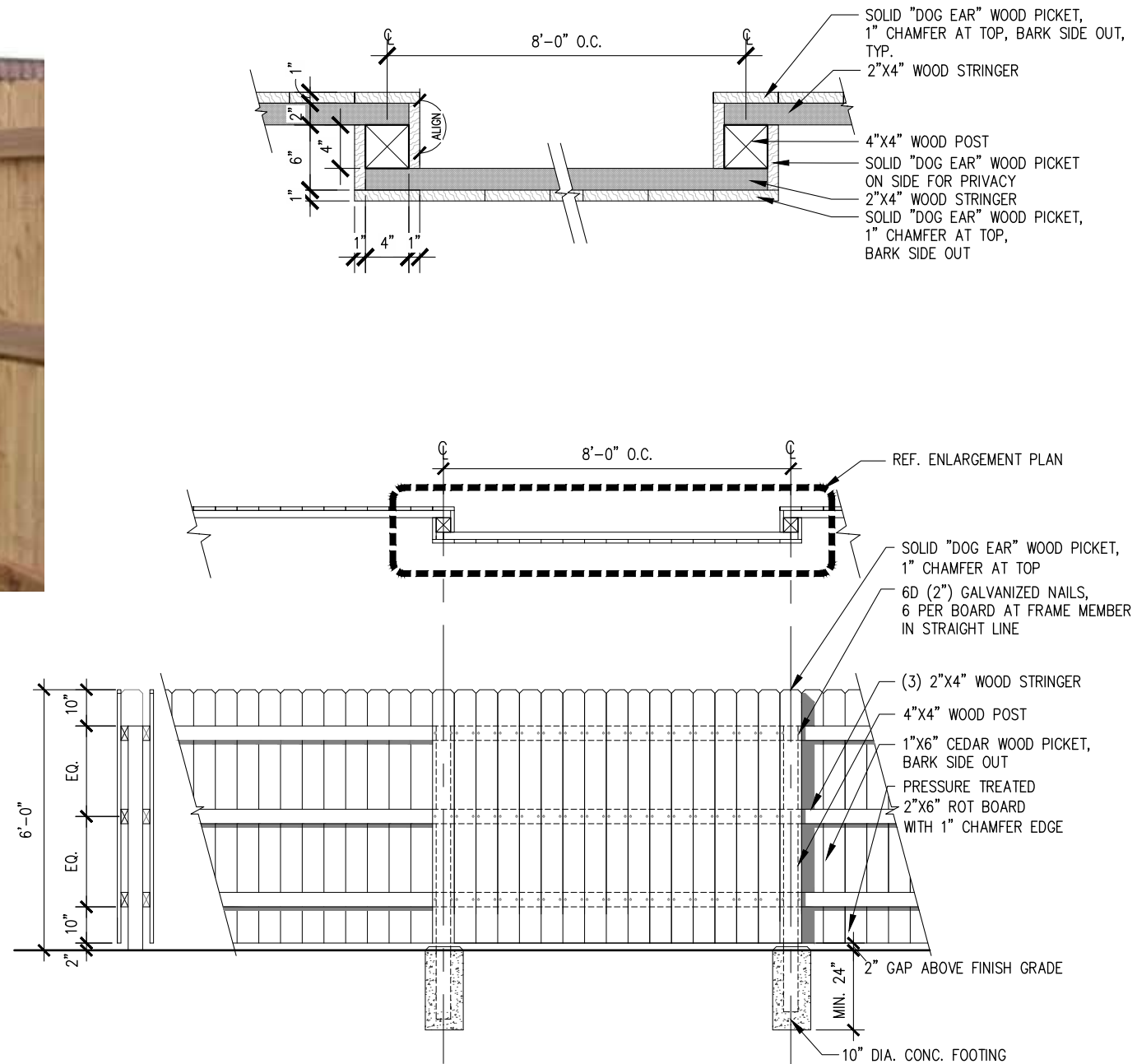


Exhibit F.06 METAL FENCE TO GOOD NEIGHBOR WOOD FENCE TRANSITION



## TYPICAL INTERIOR FENCING



### 1. TYPICAL INTERIOR LOT FENCING

- Wood fences on lot lines common with neighboring lot lines shall be installed according to the Good Neighbor Wood Fence illustration. See Exhibit F.07.
- Alternating face 8 foot wide panels of solid pickets and exposed rails are intended to provide a consistent fence to each abutting property.
- Wood pickets shall be attached to all exposed vertical faces of the wood posts to provide privacy.
- Interior lot fences may not exceed 6 feet in height.
- Interior lot fences may be stained with the Developer approved stain color (Sherwin-Williams, #SW3513, "Spice Chest", Semi-transparent). To maintain a consistent fence appearance throughout the community, spraying of stain is encouraged. Any other painting, use of color sealants or staining of fences is prohibited.

## COMMUNITY LANDSCAPE



**L**ocated on the western edge of Houston, Elyson is situated in a dynamic region comprised of prairie and agrarian landscape. The Katy prairie is the region's primary ecological system containing a diverse mix of grasses and wildflowers, bottomland hardwoods along stream corridors and coastal wetland assemblages that afford rich aquatic and terrestrial wildlife habitat. Throughout history a variety of working landscapes have developed in the region, taking the form of farming practices such as rice fields, pecan orchards and cattle ranching. Elyson incorporates these influences within the community to achieve quality of life ideals for the residents and to promote environmental stewardship.

Landscape design integrates the region's character within a variety of systems. The community's detention basins, streetscapes, parks and community entries incorporate prairie and agrarian concepts to varying degrees based on anticipated use and aesthetic considerations. The detention basins and overflow channels use wide swaths of bottomland tree species, wetlands and prairie grasses along their edges to promote water quality, decrease maintenance and create a meaningful sense of place. Upper slopes include expansive lawn areas to accommodate varied recreational uses

and are stitched together by a network of trails. Streetscapes include a mix of informally arranged native shade trees at their edges while bioswales are introduced into medians through the use of sweeping native grasses and emergent vegetation. The community entries may include monumentation and large planting areas. A prairie style architectural vocabulary is used for the monuments and the resulting structures are framed by ornamental grasses. Orchard like groves create a unique and strong backdrop for the entire composition. Once inside the community's neighborhoods, additional groves of fruit and nut bearing trees are set along trailheads and at the edge of park spaces to convey an agrarian story. The entire landscape becomes a series of outdoor rooms with distant prairie views, a close connection to productive landscapes and opportunities for flexible recreation and healthy living.



## LANDSCAPE GUIDELINES

**L**andscape guidelines provide the minimum requirements for all residential landscape improvements. The goal of the guidelines is to create a cohesive look and feel throughout Elyson that ensures experiential appeal to both residents and guests. Planting associated with these residential guidelines are not intended to be an exact replication of the overall Elyson community planting typologies, but should continue to provide the functions and aesthetics associated with the community's prairie and agrarian concept.





## GENERAL LANDSCAPE REQUIREMENTS

### 1. GENERAL

- The Builder or Owner is responsible for landscaping all areas of lots and the portion of the street right of way between the property line and the street curb.
- Plantings other than groundcovers and low growing ornamentals between the street curb and the paved sidewalk are discouraged in order to preserve adequate sight lines for motorists.
- Landscaping must be complete prior to occupancy of the house. Installation of landscaping, including materials and workmanship, must be in conformance with acceptable industry standards. Builder or Owner is encouraged to consult professional Landscape Architects for design services.
- The following landscaping standards are applicable to all residential lots.

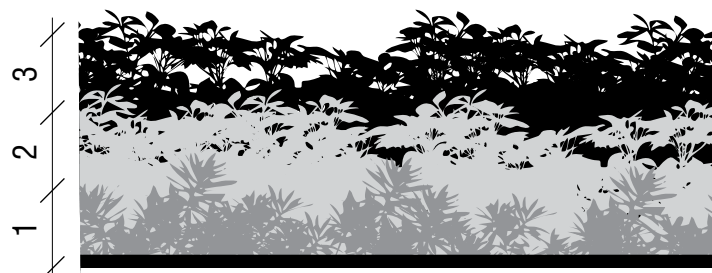


Exhibit L.01 Planting bed layering



Varied planting textures and color

### 2. PLANTING BEDS

- General  
Planting bed requirements vary by yard type. See front yard, side yard and rear yard requirements for specifications.
- Edging  
Ryerson steel edging (or similar), brick pavers set in mortar or natural stone are permitted. Plastic, masonry brick, concrete scallop, corrugated aluminum or plastic, wire wickets, railroad ties or timber edging are prohibited. Continuous concrete bands and wire or small picket fencing are also prohibited.
- Layout  
Three tiered planting layers shall be installed and include a mix of groundcovers, small shrubs and large shrubs (ascending height to rear of bed). See Exhibit L.01. Plant species shall be grouped for aesthetic impact and clarity and should not block windows or architecturally significant features. Reference Planting List section for approved species.

### 3. PLANT SPACING REQUIREMENT

- Shade Trees - 12 feet minimum between trunks.
- Pine Trees - 8 feet minimum between trunks.
- Ornamental Trees - 5 feet minimum between trunks.
- Shrubs - Spacing varies per plant list.
- Groundcover - Spacing varies between 12 and 36 inches. Refer to planting list for specific requirements.

### 4. SCREENING

- Foundation  
All foundations visible within public view must be screened with evergreen landscape. To achieve immediate screening upon installation, use mature plants with proper spacing.
- Mechanical Equipment  
All utility and mechanical equipment, including but not limited to AC units, gas meters, pedestals, cable boxes, etc. are to be placed away from public view and are required to be screened where such items are visible from the street. Where possible, Builders shall design niches or offsets to hide mechanical equipment. Screening should be appropriate species, size and location for items to reduce visibility from the nearby street.

### 5. SOD

All non-landscaped front, side and rear yards shall be completely sodded with Bermuda (other species not permitted). Hydroseeding is not permitted. Finish grade for all sod areas adjacent to walkways and drives shall be set 2 inches below pavement elevation to ensure drainage and avoid ponding. See Exhibit L.10 for planting details.

### 6. MULCH

- All trees, shrubs and planting beds shall be mulched to a depth of 2 inches. See Exhibits L.06-L.09 for proper installation.
- Brown hardwood mulch required.
- Red or artificial mulch prohibited.

### 7. IRRIGATION

- Automatic irrigation systems are required for all front and side lots and rear lots with a transparent fence.
- All irrigation systems must be designed and installed by a licensed irrigator and must be equipped with a back flow prevention device.
- Irrigation must be operational and used as needed.
- Rain sensors are recommended but not required. They shall not be visible within public view.
- Irrigation systems of approved design must have minimal overthrow onto impervious areas using the current standards at time of installation. All equipment for such systems must be screened from public view with evergreen shrubs. See Planting List for screening options.

### 8. MAINTENANCE

- Builder is required to maintain all completed lots until the home is occupied.
- All lots must be mowed and weeded regularly.
- All landscaping is required to be maintained in a healthy and attractive appearance. Proper maintenance includes:
  - Mowing, pruning and weed control
  - Adequate irrigation
  - Appropriate fertilization
  - Insect and disease control
  - Periodic replacement of mulch



FRONT YARD REQUIREMENTS

TREES	Option A		Option B	
Lot width	4" caliper shade trees	2" caliper or 30 gallon small trees	4" caliper shade trees	2" caliper or 30 gallon small trees
<59'	1	2	1	2
60'-69'	1	3	2	1
70'-79'	1	3	2	1
80'+	2	2	2	2

Table L.1 Front yard tree minimum requirements

SHRUBS			
Lot width	15 gallon	5 gallon	1 gallon
<59'	2	15	20
60'-69'	3	15	20
70'-79'	3	20	25
80'+	4	25	30

Table L.2 Front yard shrub minimum requirements



Exhibit L.2 Front yard Tree requirements

1. TREES

- Shade Trees must be a minimum of 12 feet from the front building foundation.
- Small Trees must be a minimum of 6 feet from the building foundation.
- All trees must be a minimum of 4 feet from all property lines and any sidewalk.
- Avoid planting directly in front of entries and windows.
- Avoid planting in the middle third of the yard (total lot width divided by 3). See Exhibit L.2.
- Shade trees shall be planted in the front yard. At least one must be a hardwood species with a min. 4 inch caliper (measured 12 inches above grade). Minimum height is 10 feet; minimum branch spread is 60 inches. See Table L.1 for required quantity.
- Small trees shall be planted in the front yard. A minimum 2 inch caliper is required (measured 12 inches above grade). See Table L.1 for required quantity.
- Tree stakes must be made out of wood, 2 inches in diameter by 6 feet long.

2. SHRUBS

- Shrubs are to be planted in a pleasing, organized design. See Table L.2 for the amount of shrubs required on a lot width basis.
- Planting shall consider mature plant size and avoid growth that will overhang sidewalks or crowd built structures.

3. PLANTING BEDS - ALL LOTS

- Planting beds width shall extend a minimum of 8 feet from the front building foundation and shall be elevated a minimum of 5 inches. See Exhibit L.06 and L.07. Curvilinear beds are encouraged if sufficient space is available.
- Additional planting beds are permitted and must be

a minimum of 32 square feet and shall be elevated a minimum of 7 inches.

- Three layers of tiered planting shall include groundcover, small shrubs and large shrubs (ascending height to rear of bed). See Exhibit L.01.
- Plants shall be grouped for aesthetic impact and clarity. Reference Planting List section for approved species.
- The number of plants utilized shall be appropriate for the size of the planting bed. A maximum of 7 different species of planting may be utilized within a front yard (excluding tree species).

4. AMENITY LOT SPECIAL PLANTING BED

- In addition to the requirements above, Amenity lots shall have an additional special planting bed with prairie plant species, ornamental grass plant species and/or agrarian plant species. See Exhibit L.3 and Planting List on page 32.
- Each planting bed shall have a minimum of 3 species and 1 species shall be a grass from the planting list.
- The special planting bed shall be a minimum of 40 square feet and curvilinear in form.
- The front edge of the special planting bed shall be no closer than 18 inches and no further than 6 feet from sidewalk.
- Only steel edging or shovel cut edging will be allowed for the Amenity special planting bed. See Exhibit L.05 for the steel edging detail.

5. HARDSCAPE

- Loose brick, plastic, concrete scallop, corrugated aluminum, wire wicket, vertical timbers, railroad ties, etc., are not in character with the desired landscape effect and are prohibited.
- The use of gravel in front yard planting beds is prohibited, except as a border when set in and laid horizontally or utilized for drainage purposes. Specimen boulders are permitted and limited 5 per lot. Bull rock accents are allowed at the discretion of the ERR and must be earth tone; no black or white.

# LANDSCAPE PLANTING

## FRONT YARD REQUIREMENTS

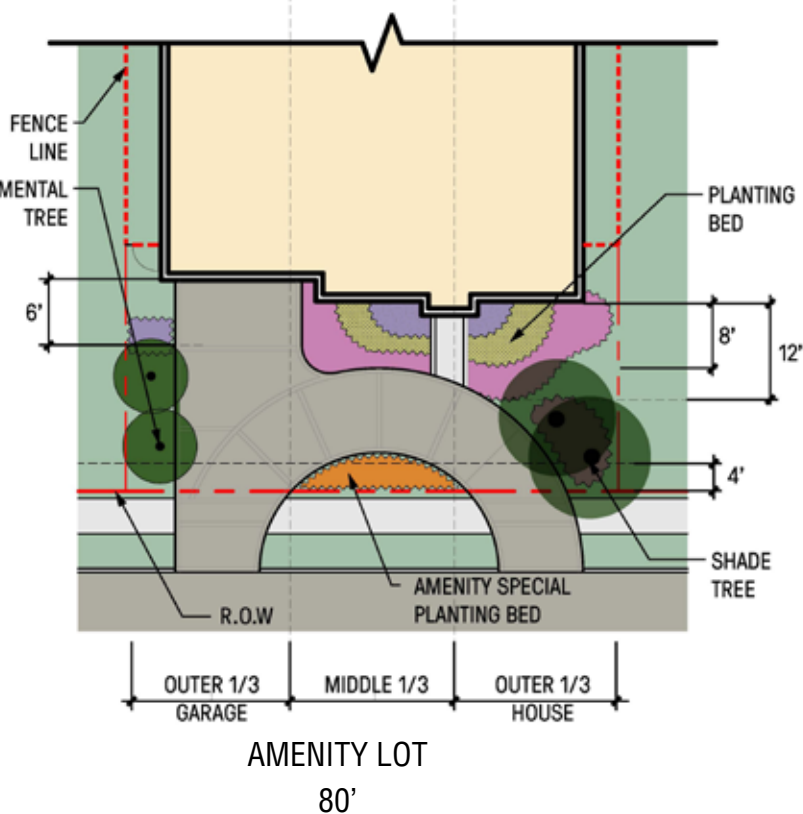
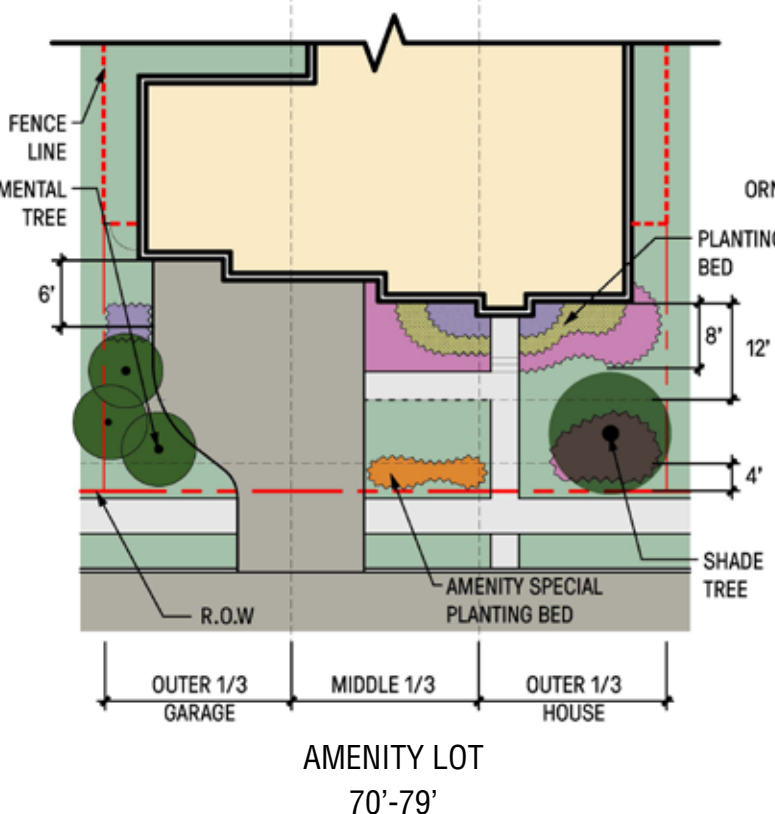
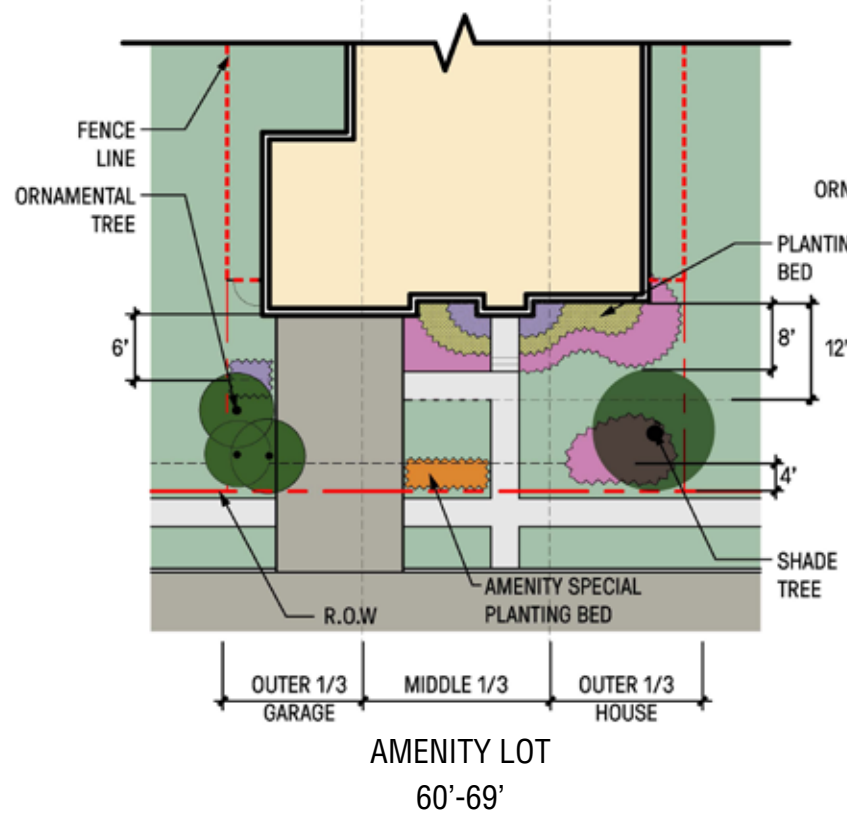
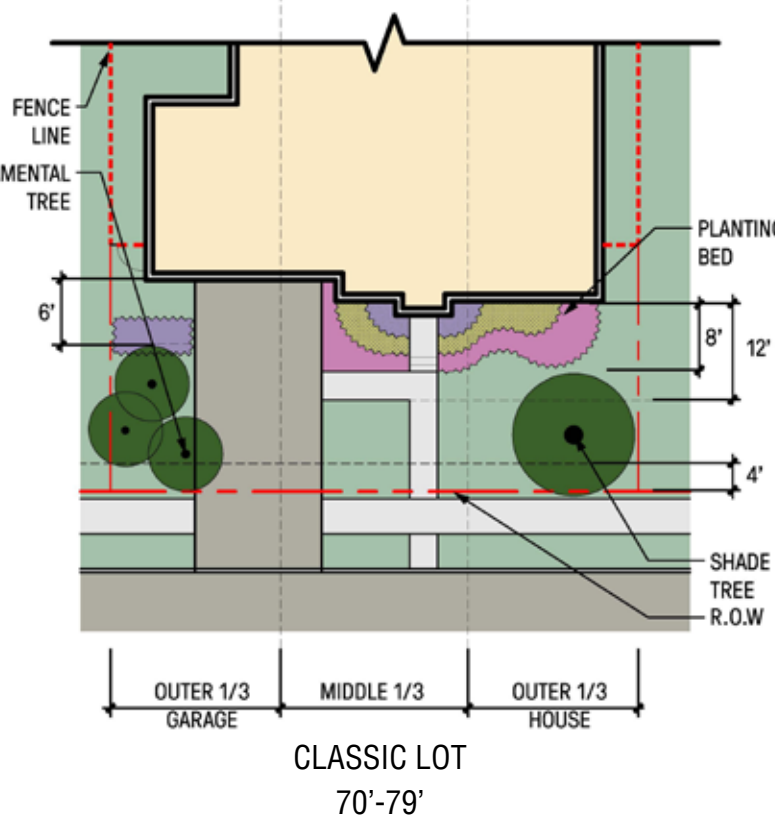
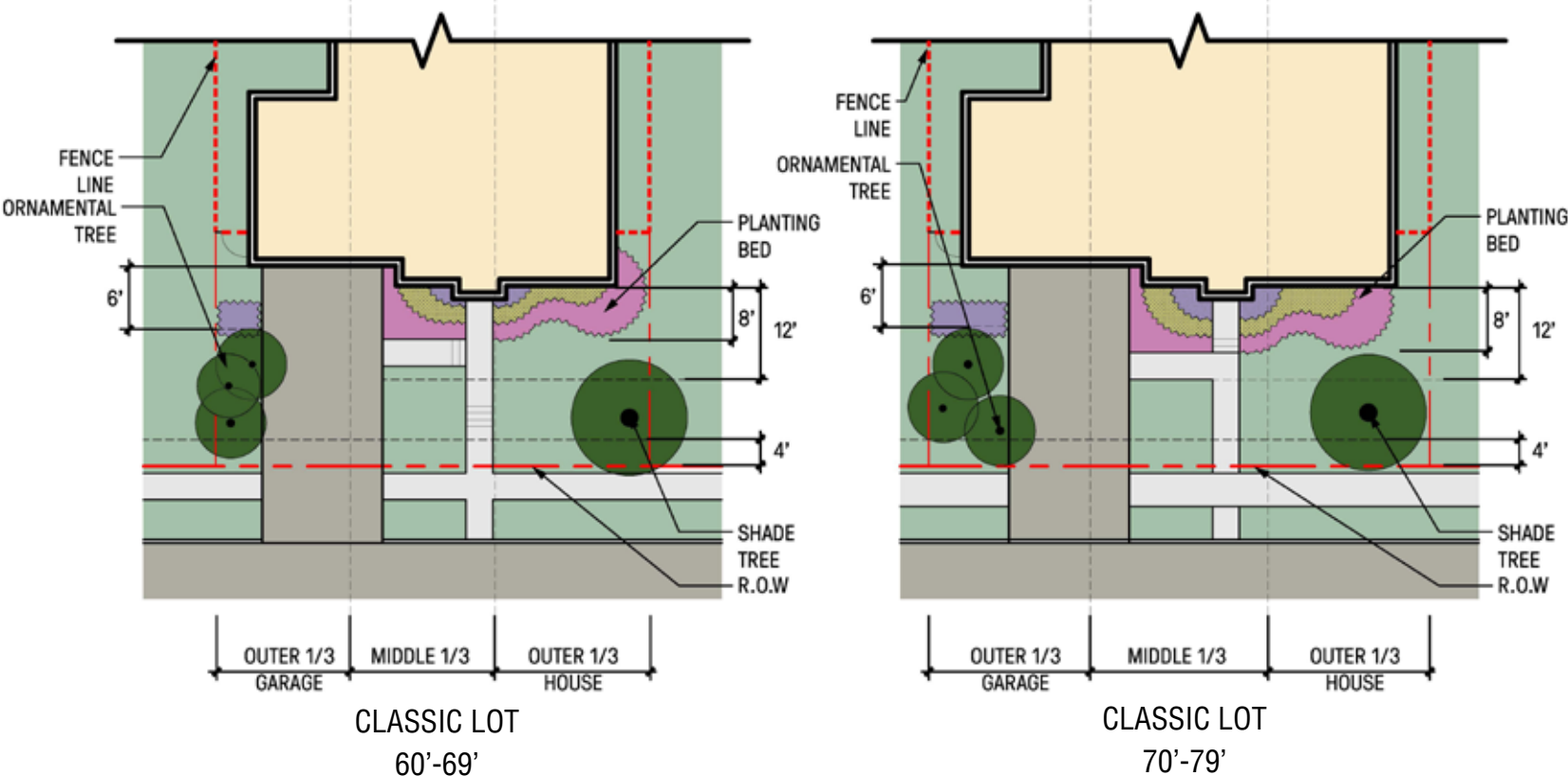


Exhibit L.3 Front Yard Requirements



SIDEYARD LANDSCAPING ON CORNER LOTS

Lot width	TREES		SHRUBS		
	4" caliper shade trees	2" cal. or 30 gallon small trees	15 gallon	5 gallon	1 gallon
<59'	0	4	2	15	n/a
60'-69'	0	4	3	20	n/a
70'-79'	0	4	3	25	n/a
80'+	0	4	3	25	n/a

Table L.3 Side yard on corner lots minimum requirements

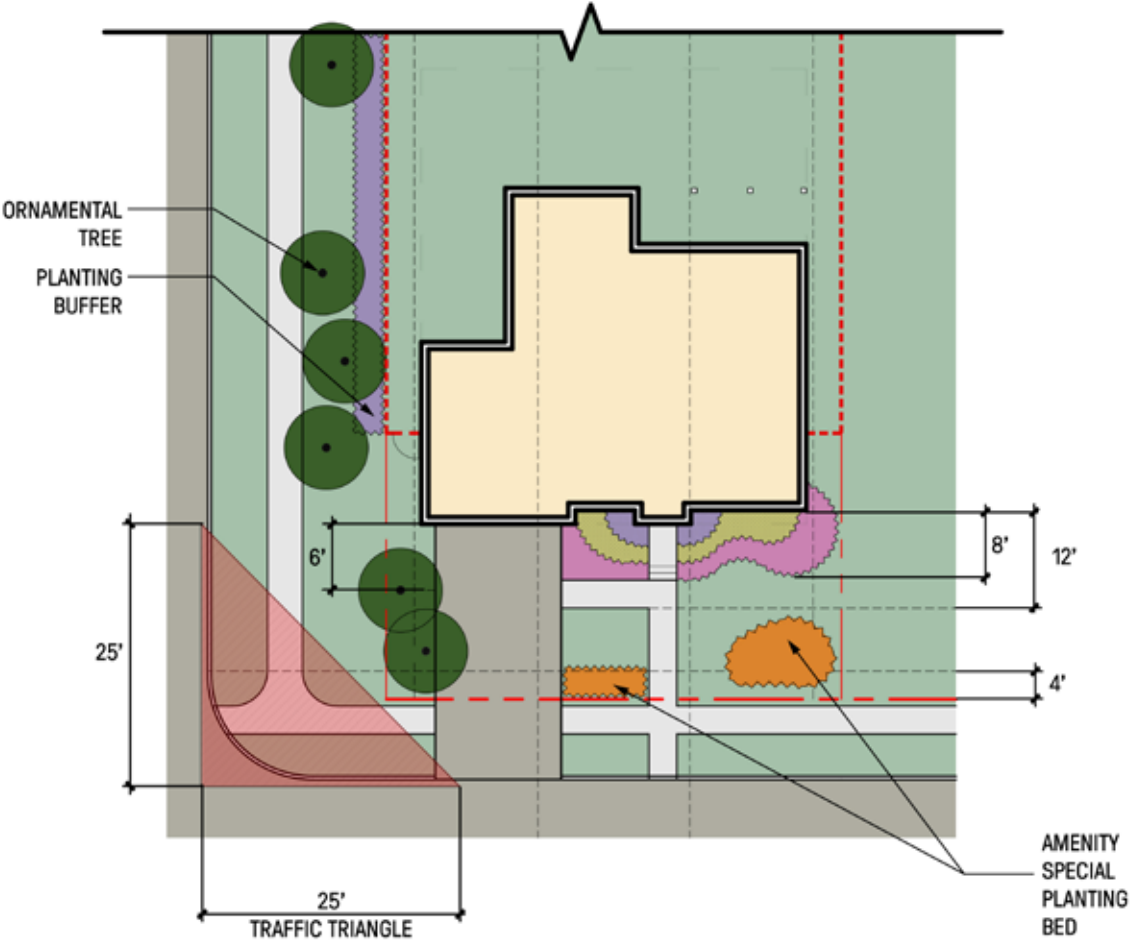


Exhibit L.4 Side Yard on Corner Lot

1. TREES

- Shade trees are discouraged in the side yard on corner lots outside of fence.

2. SHRUBS

- Shrubs are to be planted in a pleasing, organized design. See Table L.3 for the amount of shrubs required on a lot width basis.

3. PLANTING BEDS

- Beds will consist of a minimum of the plant material quantities as specified in Table L.3.

4. FENCES

- Fences shall be set back a minimum of 5 feet from the right-of-way to allow for landscaping.
- Corner lots that do not have easements are required to use plant material to soften long walls and fences. Supplemental landscaping specifications for all corner lots are noted on Table L.3.

5. RESTRICTIONS

- A 35 foot site distance triangle is required. Landscaping may not violate this requirement.
- Landscaping must not impede pedestrian access and traffic on the public sidewalk.

REAR YARD WITH PUBLIC VIEW REQUIREMENTS

Lot width	TREES		SHRUBS		
	4" caliper shade trees	2" cal. or 30 gallon small trees	15 gallon	5 gallon	1 gallon
<59'	0	2	2	15	n/a
60'-69'	0	2	2	20	n/a
70'-79'	0	3	3	25	n/a
80'+	0	3	3	25	n/a

Table L.4 Rear yard with public views minimum requirements

- The following applies to the rear yard of residential lots visible from the public right of way:
- 1. TREES
    - No shade trees are required.
    - Small trees shall be planted in the rear yard with public view. A minimum 2 inch caliper is required (measured 12 inches above grade). See Table L.4 for required quantity.
  - 2. SHRUBS
    - Shrubs are to be planted in a pleasing, organized design. See Table L.4 for the amount of shrubs required on a lot width basis.
    - Hedgerows, if used for screening, are to be planted inside the metal fence and are not to exceed 5 feet in height.
  - 3. PLANTING BEDS
    - Beds will consist of a minimum of the plant material quantities as specified in Table L.4.



Example of a Rear Yard with Public View



# LANDSCAPE PLANTING

## LANDSCAPE PLANTING DETAILS

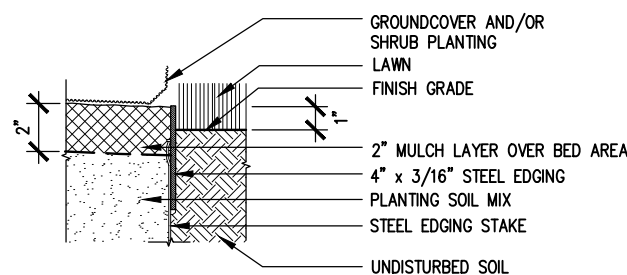


Exhibit L.05 Typical steel edging

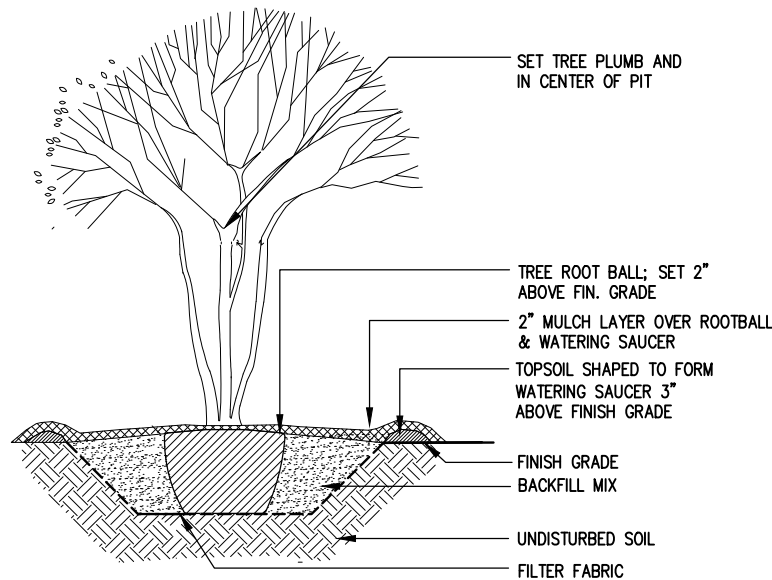


Exhibit L.08 Multi-leader tree planting

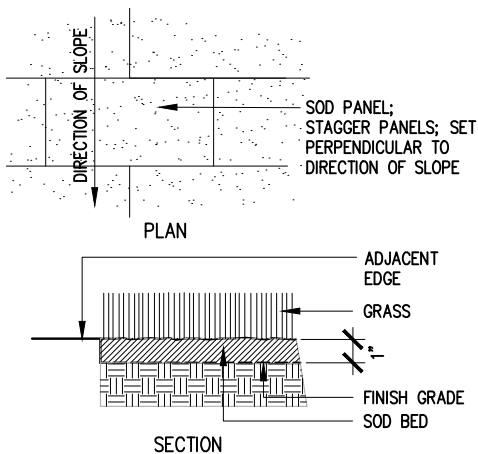


Exhibit L.10 Sod planting

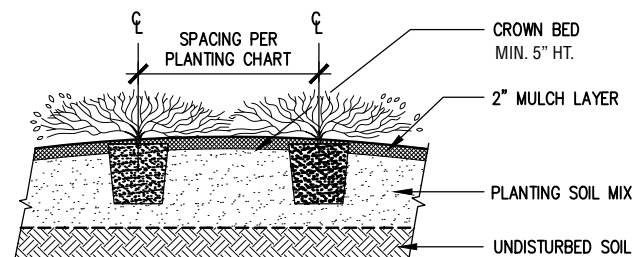


Exhibit L.06 Perennial bed planting

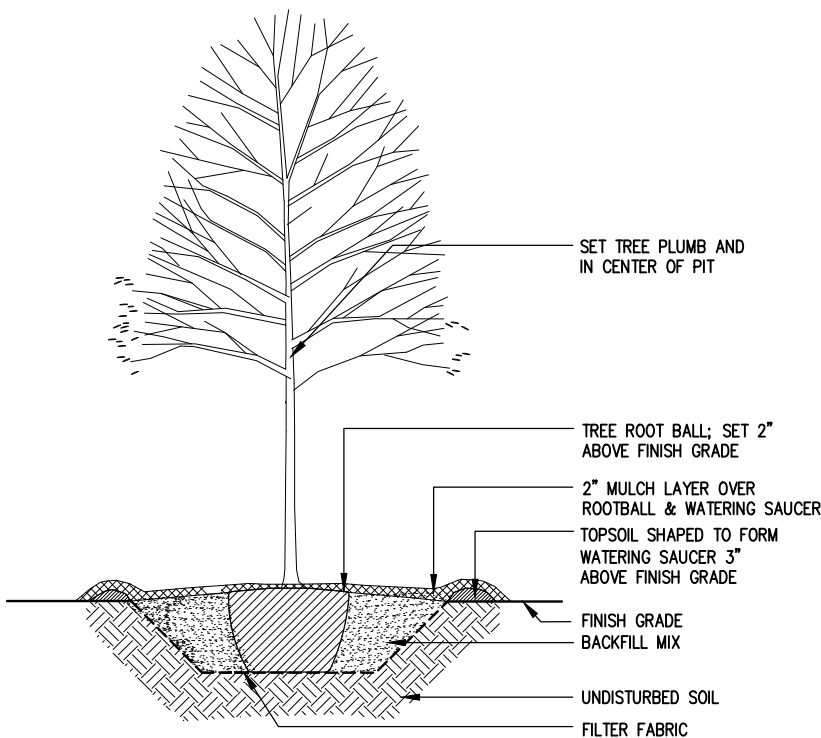


Exhibit L.09 Single leader tree planting

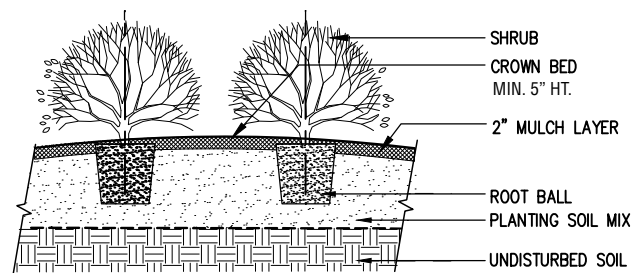


Exhibit L.07 Shrub bed planting

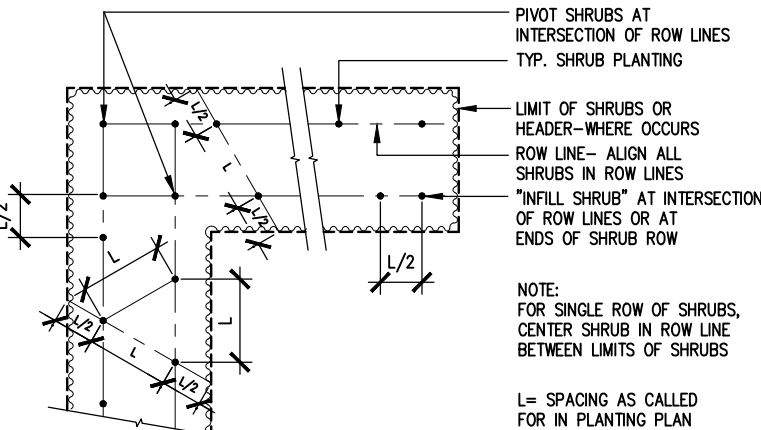
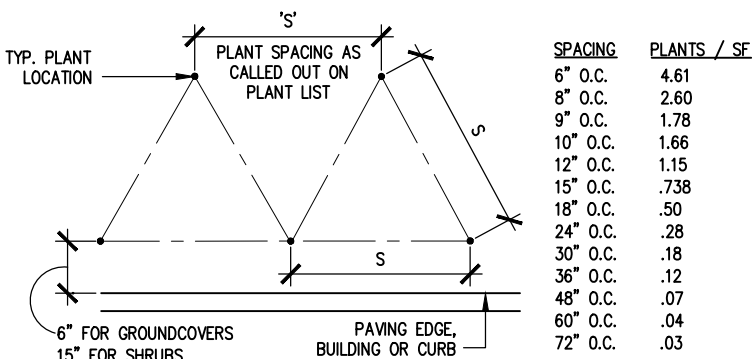


Exhibit L.11 Planting specifications

PLANTING LIST

SHRUBS

- Butterfly Bush  
*Buddleja davidii*
- Dwarf bottlebrush  
*Callistemon citrinus* “Little John”
- Texas Sage  
*Leucophyllum frutescens*
- Purple Fringe Flower  
*Lorepetalum chinense*
- Plum Fringe Flower  
*Loropetalum chinense* ‘Plum Delight’
- Clara Indian Hawthorn  
*Rhaphiolepis indica* ‘Clara’
- Azalea ‘Encore’  
*Rhododendron encore* ®
- Azalea ‘G.g. Gerbing’  
*Rhododendron indicum* ‘Mrs. G. G. Gerbing’
- Azalea ‘George L. Taber’  
*Rhododendron* x ‘George Taber’
- Nearly Wild Rose  
*Rosa* ‘Nearly Wild”
- Knock Out Rose  
*Rosa* ‘Radrazz’
- Tuscan Blue Rosemary  
*Rosmarinus officinalis* ‘Tuscan Blue’
- Mexican Bush Sage  
*Salvia leucantha*
- Bridal Wreath Spirea  
*Spirea cantonensis*
- Coralberry  
*Symphoricarpos orbicula tus*
- Yellow Bells  
*Tecoma stans*
- Rusty Blackhaw  
*Viburnum rufidulum*

SMALL TREES

- Eastern Redbud  
*Cercis canadensis*
- Fringe Tree  
*Chionanthus virginicus*
- Parsley Hawthorn  
*Crataegus marshallii*
- Japanese Blueberry  
*Elaeocarpus decipiens*
- Savannah Holly  
*Ilex attenuate* ‘Savannah’
- Possumhaw Holly  
*Ilex decidua*
- Yaupon Holly ‘Pride Of Houston’  
*Ilex vomitoria* ‘Pride of Houston’
- Crepe Myrtle  
*Lagerstroemia indica*
- Mountain Laurel  
*Sophora secundiflora*
- Chaste Tree  
*Vitex agnus-castus*

FRUITING TREES  
(REAR YARDS ONLY)

- Lime  
*Citrus aurantifolia*
- Lemon  
*Citrus limon*
- Orange  
*Citrus sintesis*
- Texas Olive  
*Cordia boissieri*
- Texas Persimmon  
*Diospyros texana*
- Coppertone Loquat  
*Erobotrya japonica* ‘Coppertone’
- Fig  
*Ficus carica*
- Kumquat  
*Fortunella sp.*
- Pomegranate  
*Punica granatum*

The following is a list of plant materials regionally appropriate for Elyson. Other plant material may be used if approved by the Elyson Residential Reviewer, but priority should be given to plants from this palette.

SHADE TREES

- Red Maple  
*Acer rubrum*
- Southern Magnolia  
*Magnolia grandiflora*
- Mexican Sycamore  
*Platanus Mexicana*
- White Oak  
*Quercus alba*
- Bur Oak  
*Quercus macrocarpa*
- Monterrey Oak  
*Quercus polymorpha*
- Shumard Oak  
*Quercus shumardii*
- Live Oak  
*Quercus virginiana*
- Bald Cypress  
*Taxodium distichum*
- Cedar Elm  
*Ulmus crassifolia*
- Winged Elm  
*Ulmus alata*





VINES

- Crossvine  
*Bignonia capreolata*
- Creeping Fig  
*Ficus pumila*
- Carolina Jessamine  
*Gelsemium sempervirens*
- Coral Honeysuckle  
*Lonicera sempervirens*
- Climbing Rose  
*Rosa sp.*
- Star Jasmine  
*Trachelospermum jasminoides*
- Evergreen Wisteria  
*Wisteria frutescens*

PERENNIALS

- Lily Of The Nile  
*Agapanthus africanus* (24" o.c.)
- Tangerine Bulbine  
*Bulbine frutescens* (12" o.c.)
- Bicolor Iris  
*Dietes bicolor* (18" o.c.)
- Daylily 'Aztec Gold'  
*Hemerocallis 'Aztec Gold'* (18" o.c.)
- Daylily 'Sunscape'  
*Hemerocallis x 'Sunscape'* (18" o.c.)
- Louisiana & Butterfly Iris  
*Iris sp.* (18" o.c.)
- Purple Trailing Lantana  
*Lantana montevidensis* (18" o.c.)

- White Lantana  
*Lantana montevidensis* (18" o.c.)
- New Gold Lantana  
*Lantana X 'New Gold'* (18" o.c.)
- Plumbago  
*Plumbago auriculata* (24" o.c.)
- Black-Eyed Susan  
*Rudbeckia fulgida 'Goldsturm'* (18" o.c.)
- Scarlet Sage  
*Salvia coccinea* (12" o.c.)
- Autumn Sage  
*Salvia greggii* (18" o.c.)
- Society Garlic  
*Tulbaghia violacea* (18" o.c.)
- Verbena  
*Verbena sp.* (12" o.c.)

ORNAMENTAL GRASSES

- Adagio Dwarf Maiden Grass  
*Miscanthus sinensis 'Adagio'* (24" o.c.)
- Little Kitten Grass  
*Miscanthus sinensis 'Little Kitten'* (18" o.c.)
- Gulf Coast Muhly  
*Muhlenbergia capillaris* (18" o.c.)
- Cassian Fountain Grass  
*Pennisetum alopecuroides 'Cassian'* (24" o.c.)
- Hameln Grass  
*Pennisetum alopecuroides 'Hameln'* (24" o.c.)
- Purple Fountain Grass  
*Pennisetum setaceum* (24" o.c.)
- Little Bluestem  
*Schizachyrium scoparium* (18" o.c.)

GROUNDCOVERS

- Ardisia  
*Ardisia japonica* (15" o.c.)
- Giant Liriope  
*Liriope gigantean* (18" o.c.)
- Liriope  
*Liriope muscari* (15" o.c.)
- Creeping Lobelia  
*Lobelia chinensis* (12" o.c.)
- Mondo Grass  
*Ophiopogon japonicas* (18" o.c.)
- Katie's Dwarf Ruellia  
*Ruellia brittoniana 'Katie'* (12-15" o.c.)
- Asian Jasmine  
*Trachelospermum asiaticum* (15" o.c.)

TURF GRASS

- Bermuda Grass  
*Cynodon dactylon*



PLANTING LIST FOR AMENITY LOT SPECIAL PLANTING BED



The following is a list of plant materials for the Amenity Lot Special Planting Bed. Prairie and agrarian species can only be used in the Amenity Lot Special Planting Bed. Ornamental grass species and perennials may be used in any residential planting bed.

ORNAMENTAL GRASS SPECIES

- Adagio Dwarf Maiden Grass  
*Miscanthus sinensis 'Adagio'* (24" o.c.)
- Little Kitten Grass  
*Miscanthus sinensis 'Little Kitten'* (18" o.c.)
- Gulf Coast Muhly  
*Muhlenbergia capillaris* (24" o.c.)
- Cassian Fountain Grass  
*Pennisetum alopecuroides 'Cassian'* (18" o.c.)
- Hameln Grass  
*Pennisetum alopecuroides 'Hameln'* (24" o.c.)
- Purple Fountain Grass  
*Pennisetum setaceum* (24" o.c.)
- Little Bluestem  
*Schizachyrium scoparium* (18" o.c.)



PERENNIALS

- Lily Of The Nile  
*Agapanthus africanus* (24" o.c.)
- Tangerine Bulbine  
*Bulbine frutescens* (12" o.c.)
- Bicolor Iris  
*Dietes bicolor* (18" o.c.)
- Daylily 'Aztec Gold'  
*Hemerocallis 'Aztec Gold'* (18" o.c.)
- Daylily 'Sunscape'  
*Hemerocallis x 'Sunscape'* (18" o.c.)
- Louisiana & Butterfly Iris  
*Iris sp.* (18" o.c.)
- Purple Trailing Lantana  
*Lantana montevidensis* (18" o.c.)
- White Lantana  
*Lantana montevidensis* (18" o.c.)
- New Gold Lantana  
*Lantana X 'New Gold'* (18" o.c.)
- Plumbago  
*Plumbago auriculata* (24" o.c.)
- Black-Eyed Susan  
*Rudbeckia fulgida 'Goldsturm'* (18" o.c.)
- Scarlet Sage  
*Salvia coccinea* (12" o.c.)
- Autumn Sage  
*Salvia greggii* (18" o.c.)
- Society Garlic  
*Tulbaghia violacea* (18" o.c.)
- Verbena  
*Verbena sp.* (12" o.c.)

PRAIRIE SPECIES

- Butterfly Weed  
*Asclepias tuberosa* (18" o.c.)
- Early Sunrise Coreopsis  
*Coreopsis grandiflora 'Early Sunrise'* (12" o.c.)
- Purple Coneflower  
*Echinacea purpurea* (18" o.c.)
- Blue Oat Grass  
*Helictotrichon sempervirens* (18" o.c.)
- Indian Blanket  
*Gaillardia pulchella* (12" o.c.)
- Gayfeather  
*Liatris mucronata* (18" o.c.)
- Lemon Beebalm  
*Monarda citridora* (18" o.c.)
- Gulf Coast Penstemon  
*Penstemon tenuis* (18" o.c.)
- Little Bluestem  
*Schizachyrium scoparium* (18" o.c.)

AGRARIAN SPECIES

- Garlic Chives  
*Allium tuberosum* (12" o.c.)
- Lavender  
*Lavandula* (12" o.c.)
- Oregano  
*Origanum vulgare* (12" o.c.)
- Rosemary  
*Rosmarinus officinalis* (18" o.c.)
- Thyme  
*Thymus vulgaris* (12" o.c.)
- Lemon Grass  
*Cymbopogon citrullus* (18")



PROHIBITED SPECIES

The following is a list of plant species that shall not be used within Elyson. These species are often highly aggressive and/or invasive and their inclusion would be detrimental to adjacent landscapes and the overall planting concept. The list is not comprehensive and additional prohibited species can be added at the discretion of the Elyson Residential Reviewer.

TREES

- Tree Of Heaven  
*Ailanthus altissima*
- Mimosa  
*Albizzia julibrissin*
- Mulberry  
*Broussonetia papyrifera & Morus alba*
- Palm (All)  
*Family of Arecaceae*
- Sago Palm  
*Cycas revoluta*
- Chinaberry  
*Melia azadirach*
- Chinese Tallow  
*Sapium sebiferum*
- Palm (All)  
*Family of Arecaceae*
- Sago Palm  
*Cycas revoluta*

SHRUBS

- Elephant Ear  
*Alocasia spp. & Colocasia spp.*
- Giant Cane  
*Arundo donax*
- Russian Olive  
*Eleagnus angustifolia*
- English Ivy  
*Hedera helix*
- Common Privet  
*Ligustrum spp.*
- Wax Myrtle  
*Morella cerifera*
- Bamboo  
*Phyllostachys aurea*
- Cheesewood  
*Pittosporum tobira*
- Pyracantha  
*Pyracantha spp.*
- Salt Cedar  
*Tamarisk spp.*

# CATEGORY COMPARISON

## CLASSIC AND AMENITY CATEGORIES

Characteristic	Classic Category	Amenity Category
Plate Height	9' front plate height maximum with one room (i.e.study) and entry allowed at 10' or greater. 9' front minimum to bottom of plate on first floor of two-story homes.	10' minimum to bottom of plate on first floor of one-story homes. 9' front minimum to bottom of plate on first floor of two-story homes.
Roof Massing	Simpler roof massing. Refer to graphic example page 38.	More complex roof massing. Refer to graphic example page 43.
Roof Pitch	Minimum of 6:12 to maximum of 10:12 and appropriate to the character of the elevation. Porch roofs may be shallow pitches.	Minimum of 8:12 to maximum of 16:12 and appropriate to the character of the elevation. Porch roofs may be shallow pitches.
Roof Materials	30 year shadow profile architectural dimensional grade composite shingles in conventional shape required. Standing seam metal, clay tile, cementitious shingle and artificial slate roofs are prohibited. However, accents with these materials may be allowed at the discretion of the ERR at no more than 10% of total roof area.	30 year shadow profile architectural dimensional grade composite shingles in conventional, oversize tab or diagonal shape. Standing seam metal, clay tile, cementitious shingle, artificial slate roofs are permitted.
Chimneys and roof vents	Vent pipes or stacks are to be visually minimized from any street and must be vertical.	Chimneys are required to be stone, brick or stucco material and encouraged as design element. No cementitious siding chimneys are permitted. Vent pipes or stacks are to be visually minimized from any street and must be vertical.
Garage	Garage to be set back 5 feet maximum from primary front facade and can be set forward no more than 5 feet. No porte cochere permitted.	50% of builder's plans must have the garage set back at least three feet. At the discretion of the ERR, a garage may be set forward if there are other architectural elements that mitigate the garage being set forward.
Garage Doors	A 8' or 16' metal carriage door is required; hardware permitted. Garage door lites are not permitted. Wood or faux wood finish garage doors are not permitted.	8' or 16' wood or faux wood finish garage doors are required. Doors shall have hardware to appear operable. Where architecturally appropriate, other style garage doors will be allowed at the discretion of the ERR.
Entry Doors	6'-8" single entry door permitted with or without glass. Sidelights permitted. 8'-0" door and paired doors not permitted. Half-round doors are not permitted. Metal doors or clad doors are not permitted.	8'-0" single door or paired door with or without glass. Sidelights permitted. 6'-8" entry door not permitted. Half-round doors are encouraged. Metal doors or clad doors are not permitted.
Front Porch Flooring	Concrete, brick or brick paver floor permitted. Stone floors prohibited.	Flagstone, natural stone tile or premium stone-look tile floor is required.
Shutters	Shutters with no hardware allowed. Must be proportional to window openings.	Shutters with hardware encouraged to appear operable. Must be proportional to window openings.
Exterior Wall Materials	Four sides of the home on the first story and the front elevation shall have brick as the primary material. Stone may be used up to 30% of the front facade or one architectural element (calculated excluding windows, doors and garage doors). Fiber cement siding may be used as an accent. Siding shall be secondary element in facade. Stucco is not permitted. Return 3'-0" or stop at a logical location.	Four sides of the home on the first story and the front elevation shall have brick, natural stone, painted brick, slurried brick, multiple brick colors, cast stone and stucco on exterior walls. If an elevation is brick and stone only, stone must be at least 30% of the elevation (calculated excluding windows, doors and garage doors). If an elevation is stucco and stone, stone may be used where architecturally appropriate. Return 3'-0" or stop at a logical location.

Compliance is at the discretion of the ERR.



CATEGORY COMPARISON

CLASSIC AND AMENITY CATEGORIES

Characteristic	Classic Category	Amenity Category
Stone Coursing Details	Ashlar coursing pattern permitted on one architectural element. Brick must be above stone. Flagstone is discouraged.	Ashlar coursing pattern permitted throughout entire facade up to roof fascia. Brick must be above stone. Flagstone is discouraged.
Brick Coursing Details	Common bond with rowlock sills and basket weave and herringbone accents permitted. Diaper pattern and corbelling accents are not permitted. Wood corbelling and wood timbers are not permitted.	Common bond with rowlock sills and basket weave, herringbone, diaper pattern, corbelling and other patterns or color accents are permitted. Wood corbelling and wood timbers are also permitted.
Lighting	Lighting should be of appropriate size and consistent with the character of the elevation. One light required at entry and garage.	Lighting should be of appropriate size and consistent with the character of the elevation. Two lights are required at entry and one on either side of garage door(s).
Eave Details	Simple eave details are encouraged. Rafter tails, clay pavers, brick or molding details are not permitted at eaves.	No pork chop returns are permitted. Clay pavers, brick or molding details are permitted at eaves. Rafter tails will be permitted where architecturally appropriate and at the discretion of the ERR.
Leadwalks	3' wide concrete minimum. Broom finish acceptable. Brick pavers at edges are not permitted.	4' wide minimum. Brick, stone, concrete pavers are required at edges and must be set on a brick ledge. Concrete paver walks are encouraged.
Driveways or Circular Drives	Circle driveways are not permitted. Brick, stone, pavers, crushed granite or concrete pattern accents are not permitted. Concrete with broom finish acceptable.	Brick, stone, pavers, crushed granite or concrete pattern accents are encouraged. Circular driveways are permitted. Brick, stone or concrete pavers required at edges.
Energy Efficiency	Homes in the community must average a 70 HERS score or less.	Homes in the community must average a 70 HERS score or less.
Additional requirements:		Side and rear elevation conditions with visible lot situations require elevation design attention to create pleasing facades and details. Stylistic elevations are permitted and encouraged. Preliminary approval required.

Compliance is at the discretion of the ERR.



## MATERIALS AND TREATMENTS

- Asphalt shingle roof materials must be 30 year shadow profile architectural dimensional grade composite shingles appropriate to the style of the home in conventional shape profile. Color range shall be black to brown (i.e. weathered wood). Standing seam metal, clay tile, cementitious tile or simulated slate roof materials are prohibited in the Classic Category. However, accents with these materials may be allowed at the discretion of the ERR at no more than 10% of total roof area.
- Stone shall be in ashlar coursing pattern permitted on one architectural element or up to 30% of the area of the front facade (calculated excluding windows, doors and garage doors).
- Brick shall be the primary material in common bond coursing with permitted accents of basket weave or herringbone and rowlock coursing at window sills.
- Diaper pattern and corbelling accents are not permitted.
- Wood corbelling and timbers are not permitted.
- Stucco is not permitted.
- Brick color to be selected from the approved Elyson palette. Brick shall be fired clay; concrete brick prohibited.
- Cementitious siding shall be used as secondary accent element on the home.
- Materials cannot terminate at outside corners. They must terminate at inside corners or return 3'-0" or stop at a logical location.
- Up to two (2) materials are allowed on primary structure.

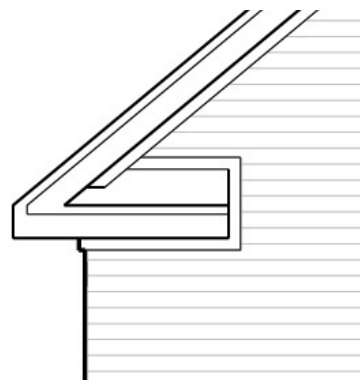




# CLASSIC CATEGORY

## REQUIRED CHARACTERISTICS

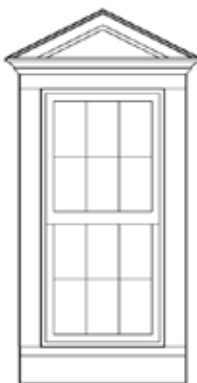
- Roof pitch to be a minimum of 6:12 to a maximum of 10:12 on principal structure, min. 4:12 on porches. Variances where architecturally appropriate may be given at the discretion of the ERR.
- Dormers shall have 4:12 pitch when open gable. Shed dormer shall have 4:12 minimum pitch.
- No roof penetrations are permitted on front and side elevations viewed from a street.
- Simple eave details are encouraged. Rafter tails, clay pavers, brick or molding details are not permitted at eaves.
- 9' front plate height maximum with one room (i.e. study) and entry allowed at 10' or greater.
- Ogee gutter and downspout are required. Scuppers are not permitted.



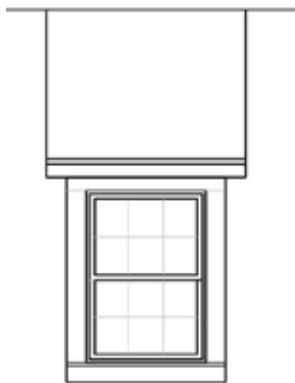
Eaves



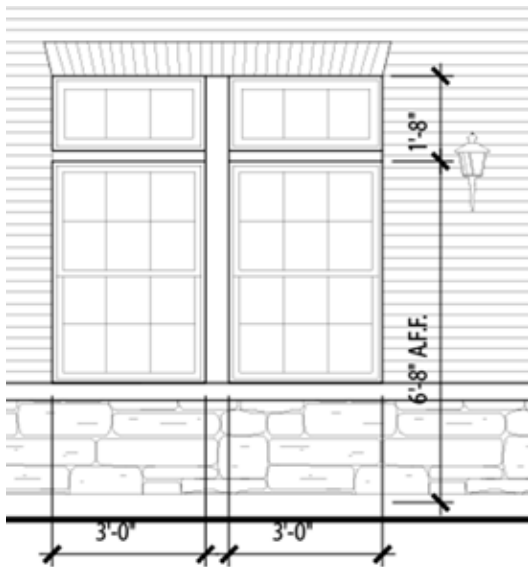
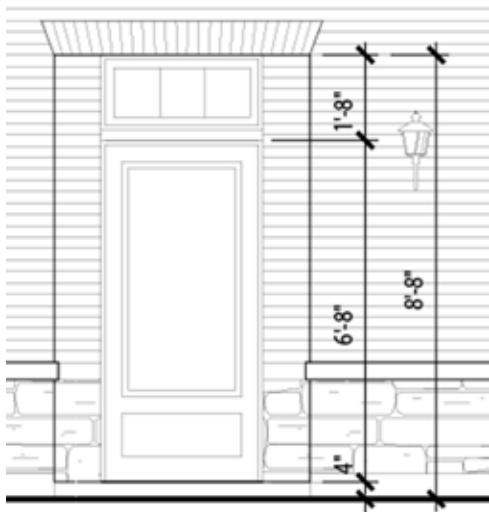
Eaves with brackets



Dormer



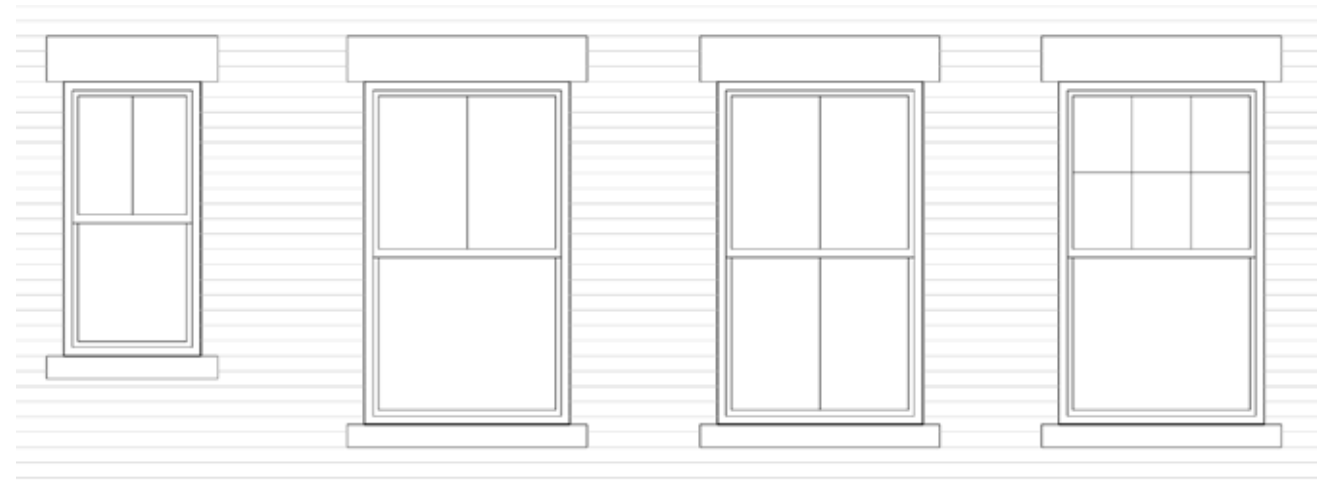
Shed Dormer



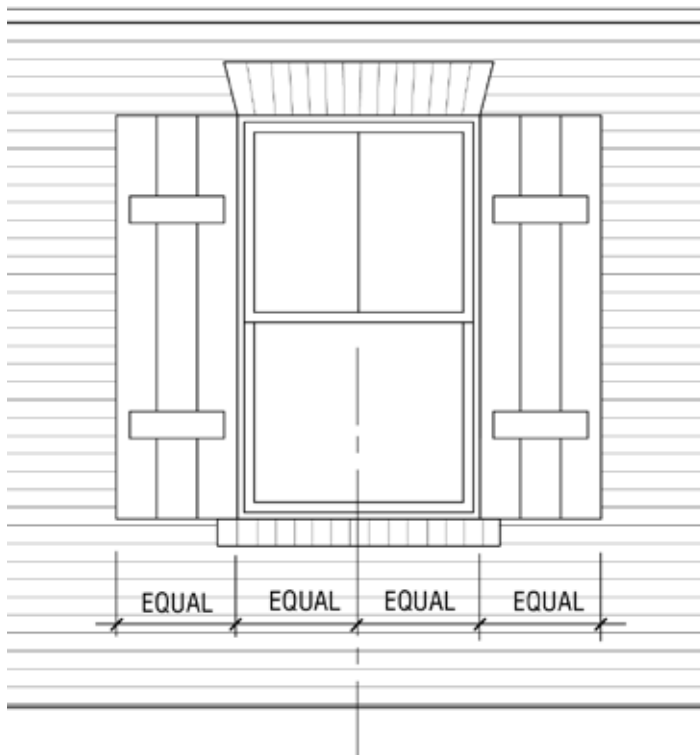
65' WIDE LOT- CLASSIC CATEGORY

## REQUIRED CHARACTERISTICS

- Windows shall be vertically proportioned single or double-hung windows. When a transom is used, windows shall be aligned vertically. All window muntins shall be vertical in proportion.
- Window patterns shall be appropriate to the architectural style of the home. Pane sizes and proportions should be consistent on different windows on the front facade.
- Shutters shall contain no hardware. Shutters shall be proportional to window openings.



Single or Double Hung Windows-  
Single or Paired





## REQUIRED CHARACTERISTICS

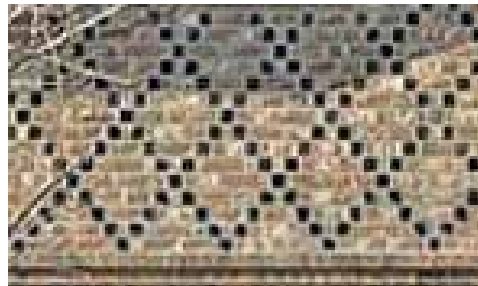
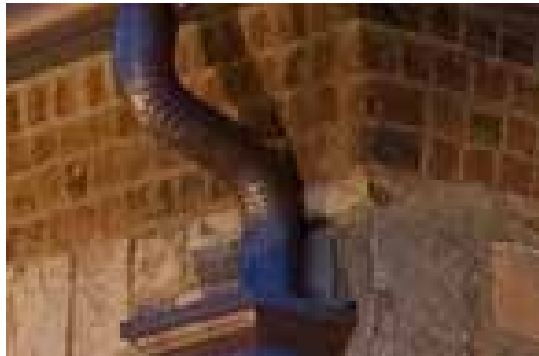
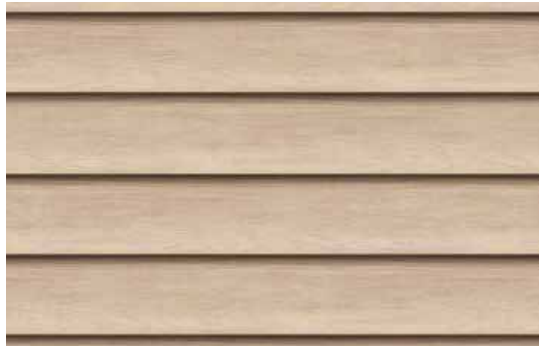
- 6'-8" entry door is permitted with or without glass. Sidelights are permitted. Paired entry doors are prohibited. Eight foot entry doors and half-round doors are prohibited in the Classic Category.
- Porch columns should be proportionate to the home, and the style should be appropriate to the architecture of the home.
- Concrete, brick or brick paver floor permitted on front porch. Stone floors prohibited.
- Garage doors shall be insulated metal with a carriage style appearance with no glazing. Finish shall be smooth appearance and shall be the same color or shade darker to the trim color of the home. Wood clad doors and steel faux wood finish garage doors are prohibited in the Classic Category. Garage door hardware is permitted.
- Garage to be set back five feet (5') maximum from primary front facade and can be set forward no more than five feet (5'). No porte cochere permitted.





## MATERIALS AND TREATMENTS

- Asphalt shingle roof materials must be 30 year shadow profile architectural dimensional grade composite shingles appropriate to the style of the home. Oversize tab and diamond tab shingles are encouraged. Color range shall be black to brown (i.e. weathered wood) with slight color variation allowed in range of color approved. Standing seam metal, clay tile, cementitious tile or simulated slate are permitted when appropriate to the style of the home and shall be in earth tone colors.
- Four sides of the home on the first story and the front elevation shall have brick, natural stone, painted brick, slurried brick, multiple brick colors, cast stone and stucco on exterior walls. If an elevation is brick and stone only, stone must be at least 30% of the elevation (calculated excluding windows, doors and garage doors). If an elevation is stucco and stone, stone may be used where architecturally appropriate. Cementitious siding shall only be used as an accent where architecturally appropriate or structurally required.
- Brick shall be in common bond coursing with allowed details including flemish bond coursing, diaper patterns, herringbone, basketweave and corbeling at cornices. Brick color to be selected from approved Elyson palette.
- Materials cannot terminate at outside corners. They must terminate at inside corners or in a historically appropriate fashion. Return 3'-0" or stop at a logical location.
- Half round gutters and downspouts are encouraged. Scuppers are permitted. Copper ogee gutter and downspouts are encouraged.
- Up to three (3) materials are allowed on primary structure.





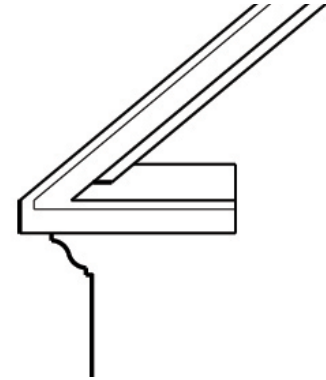
## REQUIRED CHARACTERISTICS

- Windows, doors and openings shall be detailed, sized and proportioned appropriately for the architectural style.
- A minimum of an eight foot (8'-0") door is required at main home entrance and may be paired as applicable to the proposed style with sidelights. Glass is permitted in entry doors in keeping with elements of primary structure. 6'-8" entry doors are not permitted in the Amenity Category. Half-round doors are encouraged with the appropriate style home.
- Flagstone, natural stone tile or premium stone-look tile floor is required on front porch.
- Porch column size should be proportionate to the home and style should be appropriate to the architecture of the home.
- Shutters shall match the proportion of windows they serve.
- 50% of builder's plans must have the garage set back at least three feet. At the discretion of the ERR, a garage may be set forward if there are other architectural elements that mitigate the garage being set forward (i.e. porte cochere or movement in the elevation in the main façade of the home).
- 8' or 16' wood or faux wood finish garage doors are required. Doors shall have hardware to appear operable. Where architecturally appropriate, other style garage doors will be allowed at the discretion of the ERR. See examples:
  - Clopay Gallery Collection Ultra-Grain Finish (<http://www.clopaydoor.com/gallerysteel>)
  - Wayne Dalton Carriage House Steel Garage Door Collection with a stained finish (<http://www.wayne-dalton.com/residential/carriage-house-steel/Pages/default.aspx>)

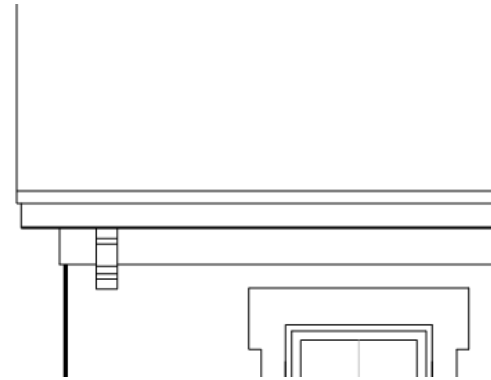


## REQUIRED CHARACTERISTICS

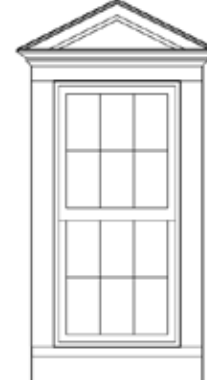
- Roof pitch to be a minimum of 8:12 to maximum of 16:12 and appropriate to the character of the elevation. Porch roofs may be shallow pitches. Refer to graphic example. Variances where architecturally appropriate may be given at the discretion of the ERR.
- Dormers shall have 4:12 pitch when open gable. Shed dormers shall have 4:12 minimum pitch.
- Chimneys are required to be stone, brick or stucco material and encouraged as design element. No cementitious siding chimneys are permitted. No roof penetrations are permitted on front and side elevations viewed from a street.
- Eaves shall have material returns along the exterior wall. No pork chop returns are permitted. Clay pavers, brick or molding details are permitted at eaves. Rafter tails will be permitted where architecturally appropriate and at the discretion of the ERR.
- A minimum ten foot front plate height is required on front elevation.



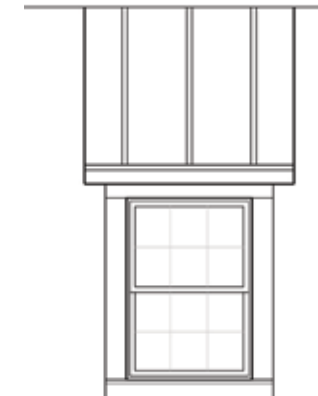
Stucco detail at Eave  
with return



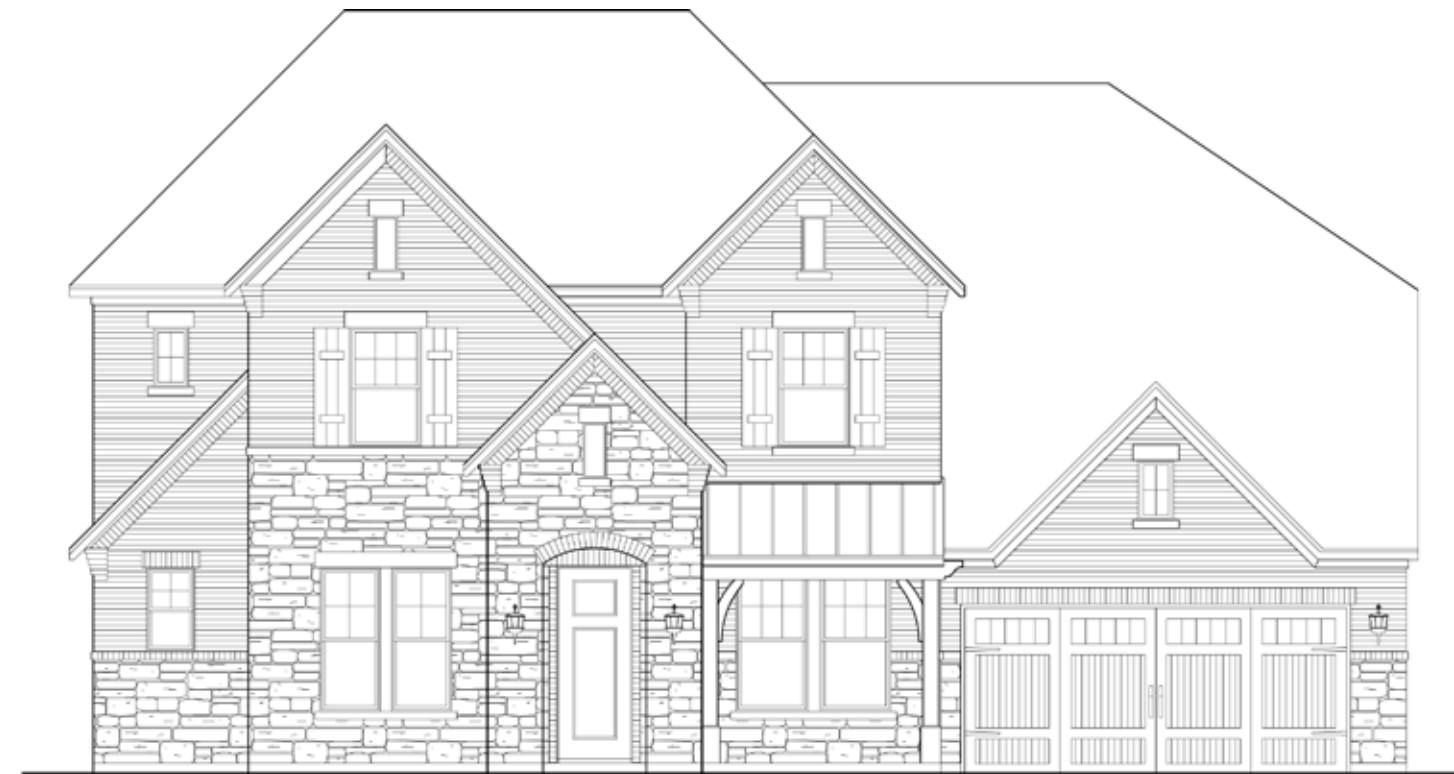
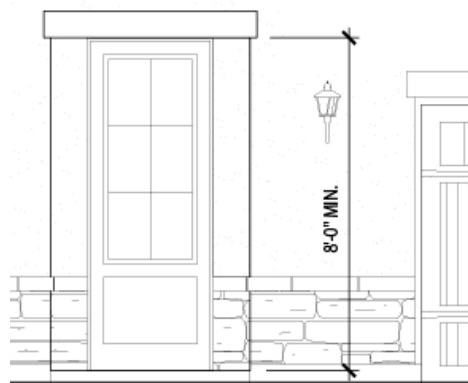
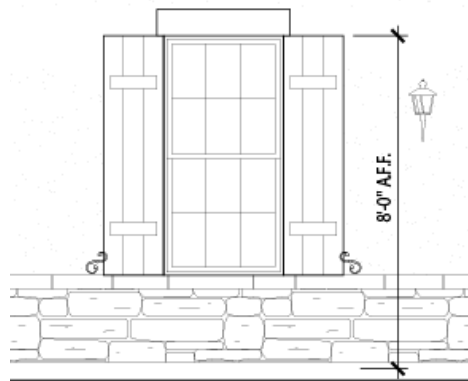
Eave with bracket and frieze board



Dormer



Shed Dormer



65' WIDE LOT- AMENITY CATEGORY

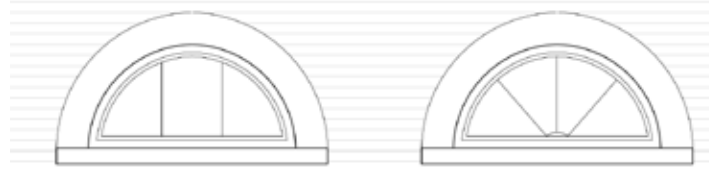


## REQUIRED CHARACTERISTICS

- Vertically proportioned single or double-hung windows are encouraged. No metal windows are permitted. Brick, cast stone trim, brick mould or wood trim is encouraged. Bay windows are encouraged.
- Special window shapes and size are allowed as architectural features where approved by the ERR.
- Windows shall be vertically proportioned single or double-hung windows. No metal windows are permitted. Brick, cast stone trim, brick mould or wood trim is encouraged. Bay windows are encouraged.



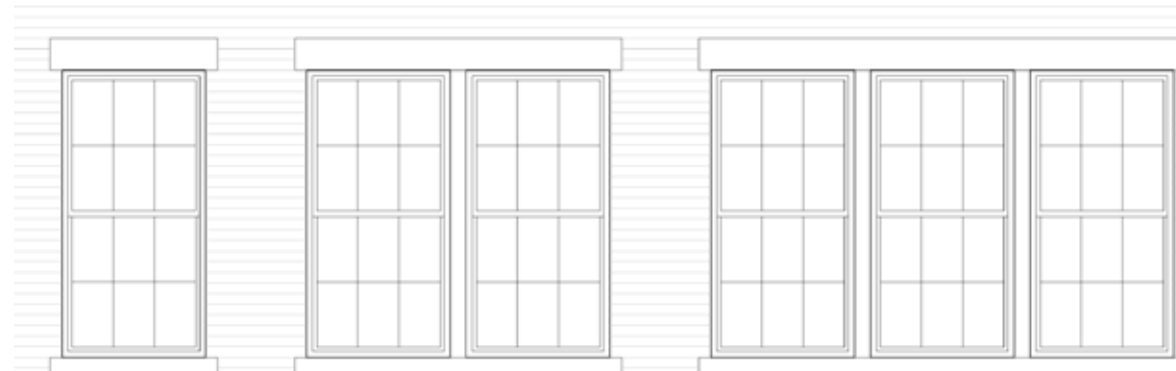
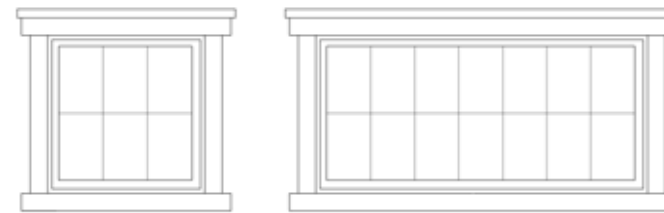
Single or double-hung windows



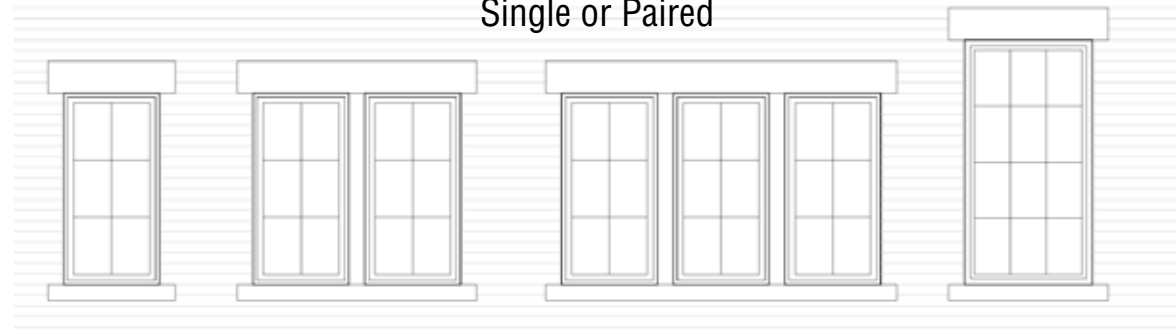
Half-round special window shapes



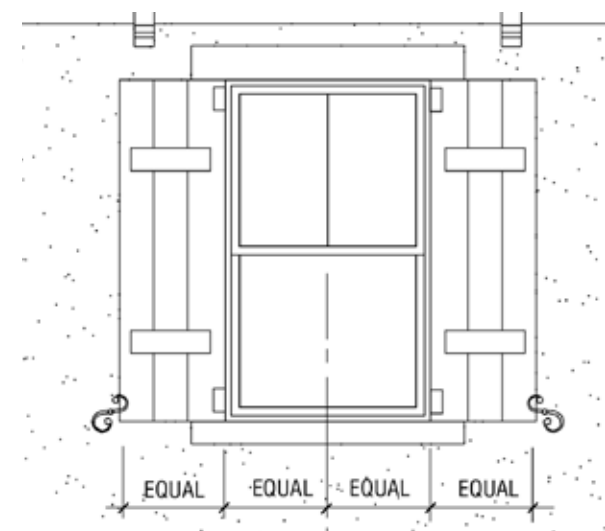
Transom or clerestory



Single or Double Hung Windows-  
Single or Paired



Casement windows



The official submittal of plans and specifications to the Elyson Residential Reviewer (ERR) provides a Reviewer process for conformance to these Single-Family Architectural Design Guidelines. A clear, direct statement regarding the acceptability of construction plans is to be made within the Reviewer period. The end result should impart a strong visual character and sense of community.

All new construction, subsequent construction, remodeling with exterior exposure, expansion and demolition of structures shall be reviewed and approved in writing by the ERR prior to commencement of any on-site building or construction activity. The approval process can be facilitated if complete and quality submittal documentation is provided to the ERR. The ERR reserves the right to alter the reviewer process in order to ensure an adequate review of all submissions while accommodating the needs of builders.

The ERR shall approve residential designs in writing before construction may begin. The ERR is committed to preserving quality within Elyson by reviewing residential design, tracking applications and working with our builders to achieve this goal.

The Builder shall send master construction plans to:

Elyson Residential Reviewer  
ATTN: Cindy Keefe  
Newland Communities  
10940 W. Sam Houston Parkway North, Suite 300  
Houston, TX 77064  
(713) 575-9017  
ckeefe@newlandco.com

These Single-Family Architectural Design Guidelines are guidelines only and are not an attempt to cover all items. The ERR will use its own discretion on items not covered within the Single-Family Architectural Design Guidelines.

## REQUIREMENTS

The builders are required to submit complete and accurate design and construction documents for examination by the ERR. Submittals are to be made in two phases prior to the construction of, or any exterior improvement upon, any residential lot or parcel.

Minimum submittal requirements for each phase are as follows (additional information is encouraged):

### Phase I

Final Builder Plans including:

1. Floor Plans @ 1/8 in. – 1' – 0" min. scale if legible on 11"x 17"
2. Exterior Elevations 1/8 in. = 1' – 0" min. scale if detail is legible
3. Specifications describing all materials to be used on the project

### Phase II

Site plan submittals shall be sent to:

Elyson New Construction Submittals  
ATTN: Wiley Johnson  
WNJco – New Construction Services  
12723 Regal Pine Lane  
Houston, TX 77070  
(713) 647-2935  
ncs@wnjco.biz

Schematic Site Plans including:

1. Building setbacks, easements and ROW identification (survey)
2. Utility service locations
3. Fencing
4. House, garage, sidewalk and driveway

The Elyson Residential Reviewer shall review and approve in writing each submittal or recommend revisions to those aspects of the plans that are inconsistent with the Single-Family Architectural Design Guidelines.

Construction may proceed only after approval of the final set of drawings and specifications. Changes that occur during actual construction that differ from approved drawings will require alterations at the Builder's expense to restore compliance with approved drawings. No drawings are considered approved unless the ERR approves them in writing.

Production home plan approvals do not constitute a blanket approval to build that plan in all neighborhoods or sections.

The builder or builder's agent has complete responsibility for compliance with all governing codes and ordinances.





## MASTER DEVELOPER

Newland Communities  
10940 W. Sam Houston Parkway North  
Suite 300  
Houston, Texas 77064  
[www.newlandco.com](http://www.newlandco.com)  
713-575-9000



## CONSULTANT TEAM

Architectural Design Guidelines  
BSB Design  
120 North Alfred Street, Suite 100  
Alexandria, Virginia 22314  
571-257-3800  
[www.bsbdesign.com](http://www.bsbdesign.com)



Landscape Design Guidelines  
SWA  
1245 West 18th Street  
Houston, Texas 77008-3342  
713-868-1676  
[www.swagroup.com](http://www.swagroup.com)